



City of Sachse, Texas

Meeting Agenda

City Council

Monday, November 6, 2017

7:30 PM

Council Chambers

The City Council of the City of Sachse will hold a Regular Meeting on Monday, November 6, 2017, at 7:30 p.m. in the Council Chambers at Sachse City Hall, 3815 Sachse Road, Building B, Sachse, Texas to consider the following items of business:

Invocation and Pledges of Allegiance to U.S. and Texas Flags.

A. Pledge of Allegiance to the Flag of the United States of America: I pledge allegiance to the flag of the United States of America, and to the Republic for which it stands: one nation under God, indivisible, with liberty and justice for all.

B. Pledge of Allegiance to the Texas State Flag: Honor the Texas flag; I pledge allegiance to thee, Texas, one state under God, one and indivisible.

1. CONSENT AGENDA.

All items listed on the consent agenda will be considered by the City Council and will be enacted on by one motion. There will be no separate discussion of these items unless a Council Member or citizen so requests.

[17-4032](#) Approve the minutes of the October 9, 2017 joint meeting.

Attachments: [10.09.17 Minutes Joint](#)

[17-4038](#) Approve the minutes of the October 16, 2017 workshop meeting.

Attachments: [10.16.17 Minutes Workshop](#)

[17-4039](#) Approve the minutes of the October 16, 2017 regular meeting.

Attachments: [10.16.17 Minutes](#)

[17-4051](#) Approve a resolution authorizing the purchase of one (1) Medix Specialty Vehicles Inc. 2018 Ford F450 Cab/Chassis, 6.7 Diesel, Type I Ambulance from Southwest Ambulance through the Houston Galveston Area Council (HGAC) purchasing program not to exceed the budgeted funds of one hundred eighty two thousand seven hundred and five dollars (\$182,705.00) for the City of Sachse Fire-Rescue.

Attachments: [Resolution](#)

[17-4057](#) Approve a preliminary plat application for The Enclave from Greg Edwards, generally located at the southeast corner of Woodbridge Parkway and Laurel Crest, within city limits.

Attachments: [Staff Presentation](#)

[Proposed Plat](#)

- [17-4063](#) Accept the Monthly Revenue and Expenditure Report for the period ending September 30, 2017.

Attachments: [All Funds 09-30-17](#)

2. MAYOR AND CITY COUNCIL ANNOUNCEMENTS REGARDING SPECIAL EVENTS, CURRENT ACTIVITIES, AND LOCAL ACHIEVEMENTS.

- [17-4061](#) Recognize the 2017 Recycle Art Contest Winners.

- [17-4060](#) Proclamation declaring November 15, 2017 as America Recycles Day.

Attachments: [Proclamation](#)

3. CITIZEN INPUT.

The public is invited at this time to address the Council. The Mayor will ask you to come to the microphone and state your name and address for the record. If your remarks pertain to a specific agenda item, please hold them until that item, at which time the Mayor may solicit your comments. Time limit is 3 minutes per speaker. The City Council is prohibited by state law from discussing any item not posted on the agenda according to the Texas Open Meetings Act, but may take them under advisement.

4. REGULAR AGENDA ITEMS.

- [17-4036](#) Consider appointments to the City's Boards and Commissions.

- [17-4062](#) Consider a resolution approving the terms and conditions of a three year agreement between the City of Sachse, Texas, and Pyro Shows of Texas for a fireworks display on July 3, 2018, 2019 and 2020, at Heritage Park in the amount of \$20,800 for each year; and providing for an effective date.

Attachments: [Fireworks Contract](#)
[Resolution](#)

- [17-4052](#) Consider a resolution casting its vote(s) for the Collin Central Appraisal District Board of Directors.

Attachments: [Resolution](#)

- [17-4056](#) Consider a resolution casting its vote for the fourth member of the Board of Directors of the Dallas Central Appraisal District.

Attachments: [Resolution](#)

- [17-4058](#) Conduct a public hearing to consider an ordinance amending the Code of Ordinances by amending Chapter 11 titled "Zoning Ordinance" by amending Exhibit 1 by amending Article 3 titled "Districts" by replacing Section 14 titled "Sachse Turnpike Overlay District Standards" with a new Section 14 titled "PGBT Zoning District".

Attachments: [Ordinance](#)

- [17-4059](#) Conduct a public hearing to consider an ordinance amending the comprehensive zoning ordinance and map of the City of Sachse, as

heretofore amended, to grant a change of zoning on approximately 611 acres of land, generally located at the intersection of Miles Road, Merritt Road, Pleasant Valley Road, and Bunker Hill Road and near and along the PGBT Turnpike, City of Sachse, Dallas County, Texas, from Agriculture (AG), Commercial 2 (C-2), Planned Development - 22 (PD 22), Planned Development – 25 (PD-25), Planned Development – 28 (PD-28), and Planned Development 34 (PD-34) Districts with Turnpike Overlay District, to PGBT zoning district.

Attachments: [Ordinance](#)

5. ADJOURNMENT.

Vision Statement: Sachse is a friendly, vibrant community offering a safe and enjoyable quality of life to all who call Sachse home.

The City of Sachse reserves the right to reconvene, recess or realign the regular session or called Executive Session or order of business at any time prior to adjournment.

As authorized by Section 551.072(2) of the Texas Government Code, this meeting may be convened into closed Executive Session at any time during the City Council workshop or regular meeting for the purpose of seeking confidential legal advice from the City Attorney on any workshop or regular meeting agenda item listed herein.

Posted: November 3, 2017; 5:00 p.m.

Michelle Lewis Sirianni, City Secretary

If you plan to attend this public meeting and you have a disability that requires special arrangements, please contact Michelle Lewis Sirianni, City Secretary, at (972) 495-1212, 48 business hours prior to the scheduled meeting date.



City of Sachse, Texas

Legislation Details (With Text)

File #: 17-4032 **Version:** 1 **Name:** October 9, 2017 Joint minutes.
Type: Agenda Item **Status:** Agenda Ready
File created: 10/16/2017 **In control:** City Council
On agenda: 11/6/2017 **Final action:**
Title: Approve the minutes of the October 9, 2017 joint meeting.
Sponsors:
Indexes:
Code sections:
Attachments: [10.09.17 Minutes Joint](#)

Date	Ver.	Action By	Action	Result
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Title
October 9, 2017 joint minutes.

Background
Minutes of the October 9, 2017 joint meeting.

Policy Considerations
None.

Budgetary Considerations
None.

Staff Recommendations
Approve the minutes of the October 9, 2017 joint meeting.

CITY COUNCIL OF THE CITY OF SACHSE

JOINT MEETING MINUTES

OCTOBER 9, 2017

The City Council of the City of Sachse and the Planning and Zoning Commission held a joint meeting on Monday, October 9, 2017 at 6:30 p.m. at Sachse Public Safety, 3815-D Sachse Road, Sachse, Texas. Those present were Mayor Mike Felix, Mayor Pro Tem Paul Watkins, Council Members Brett Franks, Charlie Ross, Bill Adams, and Cullen King. Planning and Zoning Commission Members Scott Everett, Fernando Gutierrez, David Hock, Scott Ohman, and Wendy Stewart. City Manager, Gina Nash; City Secretary, Michelle Lewis Sirianni; Development Services Director, Dusty McAfee; Development Services Coordinator, Charlotte Youngblood; Economic Development Director, Leslyn Blake; and Director of Public Works and Engineering, Greg Peters. Councilman Jeff Bickerstaff and Commissioner Chance Lindsey were absent.

Mayor Felix called the meeting to order at 6:33 p.m.

Planning and Zoning Chairman Scott Everett called the meeting to order at 6:34 p.m.

INVOCATION AND PLEDGES: The invocation was offered by Mayor Pro Tem Watkins and the pledges by Councilman Adams.

PGBT ZONING: Gateway Planning will provide a presentation on the proposed draft of the PGBT zoning in order to generate discussion and receive feedback.

Mrs. Nash stated that a draft of the proposed zoning will be presented tonight by Gateway Planning. A meeting with the stakeholders, land and commercial brokers was held on September 26. A few changes have been made to tighten up the language, but staff is requesting feedback to prepare for the upcoming public hearings for the Planning and Zoning Commission and Council.

Kelsey Berry and Scott Polikov with Gateway Planning along with Jason Claunch with Catalyst Commercial were in attendance to present tonight's information.

Scott Polikov stated they are requesting feedback on the policy as reflected. He reminded the Council and Commission that it is a dynamic document. He asked them to consider if the drafted document encourage good development, value, and market acceptance.

Ms. Berry presented an overview of the draft zoning which included the current and proposed development process, Turnpike Overlay versus the PGBT Zoning, minor and major modifications, type A and type B streets, the Turnpike Commercial (TC), Turnpike Mixed Use (TMU), Turnpike Transition (TT), architectural standards and design guidelines, street and streetscape design standards, streetscape and landscape standards, signage, detention pond standards, and the use charts and criteria for residential urban living. Ms. Berry provided two options for the Council and Commission to discuss based on how quickly they would like to see development occur, structured parking and multifamily requirements.

The Council and Commission discussed both options. Majority favored option A with a 15,000 square feet requirement for units 1-300. Units 301-599 would be an additional 15,000 square feet.

Consensus was also for 70% of structured parking with surface parking on the perimeter with ½ acre amenity space and a four story minimum requirement. The Council and Commission also discussed open space requirements and the Turnpike Transition (TT) area with acknowledging no commercial will be in this area, only residential.

ADJOURNMENT:

At 8:29 p.m. Chairman Scott Everett adjourned the Planning and Zoning Commission.

At 8:29 p.m. Mayor Felix adjourned the meeting.

MIKE J. FELIX, MAYOR

ATTEST:

Michelle Lewis Sirianni, City Secretary



City of Sachse, Texas

Legislation Details (With Text)

File #: 17-4038 **Version:** 1 **Name:** October 16, 2017 Council workshop minutes.
Type: Agenda Item **Status:** Agenda Ready
File created: 10/17/2017 **In control:** City Council
On agenda: 11/6/2017 **Final action:**
Title: Approve the minutes of the October 16, 2017 workshop meeting.
Sponsors:
Indexes:
Code sections:
Attachments: [10.16.17 Minutes Workshop](#)

Date	Ver.	Action By	Action	Result
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Title
October 16, 2017 workshop minutes.

Background
Minutes of the October 16, 2017 workshop meeting.

Policy Considerations
None.

Budgetary Considerations
None.

Staff Recommendations
Approve the minutes of the October 16, 2017 workshop meeting.

CITY COUNCIL OF THE CITY OF SACHSE
WORKSHOP MEETING MINUTES
OCTOBER 16, 2017

The City Council of the City of Sachse held a workshop meeting on Monday, October 16, 2017 at 6:30 p.m. at Sachse City Hall, 3815-B Sachse Road, Sachse, Texas. Those present were Mayor Mike Felix, Mayor Pro Tem Paul Watkins, Council Members Brett Franks, Charlie Ross, Bill Adams, Cullen King, and Jeff Bickerstaff. City Manager, Gina Nash; City Secretary, Michelle Lewis Sirianni; Development Services Director, Dusty McAfee; Human Resources Director, Melinda Walter; Police Chief, Bryan Sylvester, and Fire Chief, Marty Wade.

Mayor Felix opened the meeting to order at 6:30 p.m.

BOARD/COMMISSION INTERVIEWS: Conduct interview(s) for the City's Boards and Commissions.

City Council interviewed candidates to serve on a City's Board or Commission.

No further discussion or action was taken.

ADJOURNMENT:

At 7:22 p.m. Mayor Felix adjourned the meeting.

ATTEST:

MIKE J. FELIX, MAYOR

Michelle Lewis Sirianni, City Secretary



City of Sachse, Texas

Legislation Details (With Text)

File #: 17-4039 **Version:** 1 **Name:** October 16, 2017 Council minutes.
Type: Agenda Item **Status:** Agenda Ready
File created: 10/17/2017 **In control:** City Council
On agenda: 11/6/2017 **Final action:**
Title: Approve the minutes of the October 16, 2017 regular meeting.
Sponsors:
Indexes:
Code sections:
Attachments: [10.16.17 Minutes](#)

Date	Ver.	Action By	Action	Result
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Title
October 16, 2017 regular minutes.

Background
Minutes of the October 16, 2017 regular meeting.

Policy Considerations
None.

Budgetary Considerations
None.

Staff Recommendations
Approve the minutes of the October 16, 2017 regular meeting.

CITY COUNCIL OF THE CITY OF SACHSE

MEETING MINUTES

OCTOBER 16, 2017

The City Council of the City of Sachse held a regular meeting on Monday, October 16, 2017 at 7:30 p.m. at Sachse City Hall, 3815-B Sachse Road, Sachse, Texas. Those present were Mayor Mike Felix, Mayor Pro Tem Paul Watkins, Council Members Brett Franks, Charlie Ross, Bill Adams, Cullen King, and Jeff Bickerstaff. City Manager, Gina Nash; City Secretary, Michelle Lewis Sirianni; Human Resources Director, Melinda Walter; Public Works and Engineering Director, Greg Peters; Finance Director, Teresa Savage; Finance Manager, Berna Fitzpatrick; Accountant, Karen Ramirez; Parks and Recreation Director, Lance Whitworth; Parks and Recreation Supervisor, Cynthia Wiseman; Development Services Director, Dusty McAfee; Police Chief, Bryan Sylvester, and Fire Chief, Marty Wade.

Mayor Felix opened the meeting at 7:37 p.m.

INVOCATION AND PLEDGE OF ALLEGIANCE TO U.S. AND STATE FLAG: The invocation was offered by Councilman King and the pledges by Cub Scout Troop 243.

CONSENT AGENDA: All items listed on the Consent Agenda are considered routine and will be acted on by one motion, with no separate discussion of these items unless a Council member or citizen so requests.

17-4018 - Approve the minutes of the October 2, 2017 workshop meeting.

17-4019 - Approve the minutes of the October 2, 2017 regular meeting.

17-4013 – Approve the City of Sachse, Sachse Economic Development Corporation, and President George Bush Turnpike Reinvestment Zone Tax Increment Investment Policy ("Sachse Investment Policy").

17-4015 – Approve a resolution authorizing the purchase of three (3) 2018 Chevrolet 1500 Silverado 4x2 Double Cabs from Caldwell Country Chevrolet through the Houston Galveston Area Council purchasing program not to exceed the budgeted funds of sixty six thousand dollars (\$66,000.00) for the City of Sachse Development Services Department.

17-4022 - Approve a resolution authorizing the purchase of three 2017 Chevrolet 1500 4x4 Silverado Double Cab trucks from Caldwell Country Chevrolet through the Houston Galveston Area Council purchasing program not to exceed the budgeted funds of seventy eight thousand two hundred and forty six dollars (\$78,246.00) for the City of Sachse Public Works and Engineering Departments.

17-4025 - Approve a resolution authorizing the purchase of one new Ford F550 4x4 Diesel Jet Truck through the BuyBoard purchasing program not to exceed the budgeted funds of one hundred forty thousand dollars (\$140,000.00) for the City of Sachse Public Works Utility Department.

17-4027 - Approve a resolution authorizing the purchase of a new drum roller from Kirby Smith Machinery, Inc. not to exceed the budgeted funds of fifteen thousand five hundred and fifty three dollars (\$15,553.00) for the City of Sachse Public Works Department.

17-4028 - Approve a resolution authorizing the City Manager to execute a contract with Canon Solutions America, Inc. ("CSA") for the four-year lease of twelve (12) copier/printer machines through the State of Texas contract.

Councilman Adams made a motion to approve items the consent agenda items as presented. Councilman King seconded that motion and the motion was unanimously approved.

MAYOR AND CITY COUNCIL ANNOUNCEMENTS REGARDING SPECIAL EVENTS:

Councilman King thanked the Scouts for being in attendance.

Councilman Ross announced the upcoming events at the Library: Tuesday, October 17 at 6:00 p.m., Face Painting; Tuesday, October 24 at 6:00 p.m., Halloween Party and costume contest; and, the Library will be closed on October 21 and 22 for interior painting.

Councilman Bickerstaff recognized the Sachse band placing third in a recent competition and all their hard work preparing for their upcoming finals competition.

Mayor Felix announced several upcoming events which included:

- October 21 – Pumpkin Prowl at Salmon Park
- October 28 – Fall Fest at Heritage Park sponsored by the Sachse Chamber of Commerce
- November 23 – Turkey Trot at Sachse High School
- December 2 – Pancakes with Santa at Fire Station #1
- December 6 – Christmas Extravaganza with night parade at 6:00 p.m. followed by the tree lighting with many more activities

17-4020 – Recognize the Finance Department.

Mayor Felix recognized the Finance Department for their numerous awards received this past year.

CITIZENS INPUT:

Diana Smith, 4802 Sachse Road, invited everyone to a BBQ at Charles Smith Funeral Home on October 17 at 6:30 p.m. honoring Public Safety.

REGULAR AGENDA ITEMS:

17-4016 Receive presentation regarding new website design.

Mrs. Nash stated that the website has not undergone any updates in many years and was in need of a facelift. The City brought on SGR to assist in making the website read with one voice, assist with content cleanup, and be our liaison between the City and CivicPlus. Staff is seeking any input or questions.

Lori Philyaw with Strategic Government Resources (SGR) presented Council with a project timeline, the content and design team, a vision of the new website which included being user friendly, having a fresh design, streamlined, and having a consistent voice, and key improvements. SGR displayed the production site to Council to look at the new features and streamlining of content. Ms. Philyaw stated the go live date is scheduled for October 26, but can sometimes take up to 48 hours for all website browsers to display the new site.

Councilman King asked how many items they could have in the carousel. Ms. Philyaw replied that they could have as many as they wanted there you would just have to use the arrows to scroll through them. Another option would be to use the alert feature or an RSS feed.

Mayor Pro Tem Watkins inquired about the platform base and permission levels.

Councilman Bickerstaff stated he did not like the background photo. Ms. Philyaw confirmed that these can be changed and that the City is looking to get additional photos to use.

17-4024 Receive presentation from Ron Hobbs and consider approval of a Professional Services agreement between the City of Sachse, Texas and Ron Hobbs Architecture and Interior Design, LLP, for the design of the Sachse Community Center.

Ron Hobbs presented to Council a timeline for the Community Center project including preliminary programming and potential room options based on the type of activities and uses the City may have and/or need for this building. Mr. Hobbs included lists of potential space options that included examples such as a multi-purpose room, reservation room, walking track, classroom, etc. along with support spaces such as a lobby, control rooms, offices, storage, and restrooms that should be taken into consideration within the design. Mr. Hobbs displayed potential site concepts and explained how the exterior appearance will match or reflect the current buildings. A monthly update will be presented to Council so that they may stay on track.

Council discussed having a separate meeting for citizen input on the project, the total budget for the project, and if leeway was given within the agreement for supplemental services. Mrs. Nash confirmed there is.

Mayor Felix proposed an additional meeting for citizen input on Wednesday, November 8 at 6:30 p.m. Mr. Hobbs and staff were in agreement with this date and time.

Councilman Bickerstaff made a motion to approve a Professional Services agreement between the City of Sachse, Texas and Ron Hobbs Architecture and Interior Design, LLP, for the design of the Sachse Community Center. Mayor Pro Tem Watkins seconded that motion and the motion was unanimously approved.

17-4026 Receive and discuss Utility Fund financial review.

Mrs. Nash stated Finance will give an update on the Utility Fund. We are now in year three of five of the rate structure in the study which began in 2014.

Mrs. Savage presented Council with an overview of the 2014 rate study, a water and sewer revenue summary, an expense summary for North Texas Municipal Water District (NTMWD) and City of Garland Sewer Treatment, debt service payments comparison of estimated and actual, capital projects, current water and sewer rates, and NTMWD rate projections. Mrs. Savage stated that the loosened watering restrictions have impacted sales, the water revenues have exceeded projections, sewer projections have been slightly below projections, a strong overall budgetary performance has provided an overall reduction and delay of debt issuance and a \$5.9 million in capital investment not anticipated in 2014, a lower overall demand in FY 2017 is reflected in revenues, continued decline in water sales supports maintaining rates approved in 2014, and the FY2018-2019 budget will include a supplemental request for an updated rate study.

No further comments were made.

17-4029 Consider authorizing expenditures in an amount not to exceed two million two hundred fifty six thousand three hundred and seventy seven dollars (\$2,256,377.00) for purchase and installation of the City's Automated Metering Infrastructure (AMI) project through HydroPro Solutions and further authorize the City Manager to execute any necessary documents for such procurement including a Master Service Agreement.

Mrs. Nash introduced the item stating the AMI implementation was included as part of the budget and this agreement will be for the purchase and installation of the City's AMI meters.

Mrs. Savage provided a timeline including expected beginning and completion of installation. The customer portal should be activated by September 2018.

Mayor Pro Tem Watkins asked if two base stations were enough. Mrs. Savage replied yes and they will receive readings several times a day and will be able to identify problematic meters that are not reading immediately.

Mayor Pro Tem Watkins made a motion to approve expenditures in an amount not to exceed two million two hundred fifty six thousand three hundred and seventy seven dollars (\$2,256,377.00) for purchase and installation of the City's Automated Metering Infrastructure (AMI) project through HydroPro Solutions and further authorize the City Manager to execute any necessary documents for such procurement including a Master Service Agreement. Councilman Bickerstaff seconded that motion and the motion was unanimously approved.

17-4030 Consider approval of a resolution approving purchase orders in the amount not to exceed six hundred twenty three thousand dollars (\$623,000.00) to McMahon Contracting, L.P., for concrete roadway improvement projects; authorizing its execution by the City Manager; and providing an effective date.

Mr. Peters stated this item is for the projects identified for concrete street maintenance projects. Due to the large scope of panel replacement, an additional \$40,000 of funds from the Public Works Department is being included to be used as contingency funds. Any funds not used will be put back into the department's maintenance budget upon completion of the project.

Councilman Franks asked if any alley work was being included. Mr. Peters replied that they will try to adjust the grade to fix problems they encounter.

Councilman Adams made a motion to approve a resolution for purchase orders in the amount not to exceed six hundred twenty three thousand dollars (\$623,000.00) to McMahon Contracting, L.P., for concrete roadway improvement projects; authorizing its execution by the City Manager; and providing an effective date. Councilman Franks seconded that motion and the motion was unanimously approved.

17-4008 Consider approval of the First Amendment to the Project Specific Agreement by and between the City of Sachse and Dallas County to fund the construction of transportation improvements on Sachse Road and 5th Street.

Mr. Peters stated this amendment is for the first phase of the Sachse Road widening. The City has been working with the County on cost estimates. Dallas County determined that additional funds for the project are required. The City will split the additional funding with a 50/50 match, per the original agreement. The additional project funding will come from roadway impact fees. The current balance of un-allocated roadway impact fees is approximately \$1,200,000.00. Staff was anticipating that additional funding would be required. Mr. Peters added that there are two remaining right-of-way acquisitions that are needed to move the project to bid. City staff is working with Dallas County to assist the County real estate staff in finalizing the acquisition of these two strips of land.

Councilman King asked if this was solely for the first phase. Mr. Peters confirmed it was.

Councilman Bickerstaff made a motion to approve the First Amendment to the Project Specific Agreement by and between the City of Sachse and Dallas County to fund the construction of transportation improvements on Sachse Road and 5th Street. Mayor Pro Tem Watkins seconded that motion and the motion was unanimously approved.

17-4023 Consider approval of a Development Agreement made by and between the City of Sachse, Texas and K. Hovnanian Homes-DFW L.L.C.

Mr. Peters provided an overview of this item including the current configuration of Maxwell Creek Road and the how the project is within the Sachse CIP program. The City completed preliminary engineering in 2016 with a Collin County ILA that provides a \$588,000 funding match. The City currently does not have the needed funding match to construct the project. Mr. Peters commented that the Sachse Farms Lift Station will need to be removed and re-built outside of the proposed pavement due to the proposed single family residential subdivision being developed in Murphy. The proposed agreement for consideration outlines what the developer and City agree to do along with financial considerations. Staff recommends approval of the agreement. Staff finds the

agreement is the most cost-effective approach for the City to facilitate the construction of Maxwell Creek Road and the agreement eliminates a \$612,000 future funding obligation that would be needed for the City to complete the project as a City CIP project.

Council discussed if there would be any additional traffic considerations or any additional costs or changes to the design. Mr. Peters indicated that funds from the preliminary engineering design will fund the sewer lift station design.

Councilman Franks made a motion to approve a Development Agreement made by and between the City of Sachse, Texas and K. Hovnanian Homes-DFW L.L.C. Councilman King seconded that motion and the motion was unanimously approved.

ADJOURNMENT:

Mayor Felix adjourned the meeting at 9:44 p.m.

MIKE J FELIX, MAYOR

ATTEST:

Michelle Lewis Sirianni, City Secretary



City of Sachse, Texas

Legislation Details (With Text)

File #:	17-4051	Version:	1	Name:	Ambulance Purchase - Fire
Type:	Agenda Item	Status:		Status:	Agenda Ready
File created:	10/23/2017	In control:		In control:	City Council
On agenda:	11/6/2017	Final action:		Final action:	
Title:	Approve a resolution authorizing the purchase of one (1) Medix Specialty Vehicles Inc. 2018 Ford F450 Cab/Chassis, 6.7 Diesel, Type I Ambulance from Southwest Ambulance through the Houston Galveston Area Council (HGAC) purchasing program not to exceed the budgeted funds of one hundred eighty two thousand seven hundred and five dollars (\$182,705.00) for the City of Sachse Fire-Rescue.				
Sponsors:					
Indexes:					
Code sections:					
Attachments:	Resolution				

Date	Ver.	Action By	Action	Result
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Title
Ambulance Purchase

Background
The purchase of this ambulance is in alignment with the scheduled vehicle replacement plan for the ambulance fleet. It is critical that dependable ambulances are utilized while responding to and transporting patients to hospitals. A scheduled replacement plan allows for this dependability. The new ambulance will replace A3 (2005).

Policy Considerations
None.

Budgetary Considerations
Vehicle Replacement Funds (VERF)

Staff Recommendations
Approve a resolution authorizing the purchase of one (1) Medix Specialty Vehicles Inc. 2018 Ford F450 Cab/Chassis, 6.7 Diesel, Type I Ambulance from Southwest Ambulance through the Houston Galveston Area Council (HGAC) purchasing program not to exceed the budgeted funds of one hundred eighty two thousand seven hundred and five dollars (\$182,705.00) for the City of Sachse Fire-Rescue.

RESOLUTION NO. _____

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SACHSE, TEXAS, AUTHORIZING THE PURCHASE OF ONE (1) MEDIX SPECIALITY VEHICLES INC. 2018 FORD F450 CAB/CHASSIS, 6.7 DIESEL, TYPE I AMBULANCE FROM SOUTHWEST AMBULANCE THROUGH THE HOUSTON GALVESTON AREA COUNCIL (HGAC) PURCHASING PROGRAM NOT TO EXCEED BUDGETED FUNDS OF ONE HUNDRED EIGHTY TWO THOUSAND SEVEN HUNDRED AND FIVE DOLLARS (\$182,705.00) FOR THE CITY OF SACHSE FIRE-RESCUE DEPARTMENT; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City of Sachse, Texas, pursuant to the authority granted by Chapter 271, Subchapter D, of the Texas Local Government Code, desires to participate in intergovernmental purchasing; and

WHEREAS, the City Council is of the opinion that participation in this program will be highly beneficial to the taxpayers of this City, through the anticipated savings to be realized through the intergovernmental purchase of products including municipal vehicles; and

WHEREAS, funding has been appropriated in the fiscal year 2017-2018 budget for the purchase of one ambulance.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF SACHSE, TEXAS, THAT:

SECTION 1. The City Council approves the use of cooperative purchasing through the Houston Galveston Area Council from Southwest Ambulance to purchase one Ford F450 cab/chassis, 6.7 diesel, type I ambulance.

SECTION 2. The City Council authorizes the City Manager to execute any documents necessary to complete this transaction.

SECTION 3. This Resolution shall take effect immediately from and after its passage, and it is accordingly so resolved.

DULY RESOLVED AND ADOPTED by the City Council of the City of Sachse, Texas, this the 6th day of November, 2017.

APPROVED:

Mike J. Felix, Mayor

ATTEST:

Michelle Lewis Sirianni, City Secretary



City of Sachse, Texas

Legislation Details (With Text)

File #:	17-4057	Version:	1	Name:	The Enclave PP - CC 11-06-17
Type:	Agenda Item	Status:		Status:	Agenda Ready
File created:	10/24/2017	In control:		In control:	Planning & Zoning Commission
On agenda:	11/6/2017	Final action:		Final action:	
Title:	Approve a preliminary plat application for The Enclave from Greg Edwards, generally located at the southeast corner of Woodbridge Parkway and Laurel Crest, within city limits.				
Sponsors:					
Indexes:					
Code sections:					
Attachments:	Staff Presentation Proposed Plat				

Date	Ver.	Action By	Action	Result
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Title

Consider and act on a preliminary plat application for The Enclave from Greg Edwards, generally located at the southeast corner of Woodbridge Parkway and Laurel Crest, within city limits.

Background

- Proposal to preliminary plat 30 single family lots
- Applicant: Greg Edwards
- Owner: Cloud 9 Development
- Size: Approximately 9.9 acres
- Site Attributes: undeveloped land
- Proposed Use: Single Family residential
- Current Zoning: R-10 (single family residential)
 - Minimum Lot Area: 10,000 sf
 - Minimum Lot Width: 80 feet
 - Minimum House Area: 2,000

Policy Considerations

N/A

Budgetary Considerations

N/A

Staff Recommendation

- Per Staff's technical review, the proposed plat is in compliance with Sachse's subdivision regulations and zoning ordinance.

- Staff recommends approval of the proposed plat, subject to all conditions stipulated by the Building Official & City Engineer.
- The Planning & Zoning Commission unanimously recommended approval of the proposed plat on October 23, 2017.
- Plat approval is not discretionary. If a plat meets all applicable standards and regulations, State law requires the City to approve the plat.



THE ENCLAVE PP

CITY COUNCIL

NOVEMBER 6, 2017

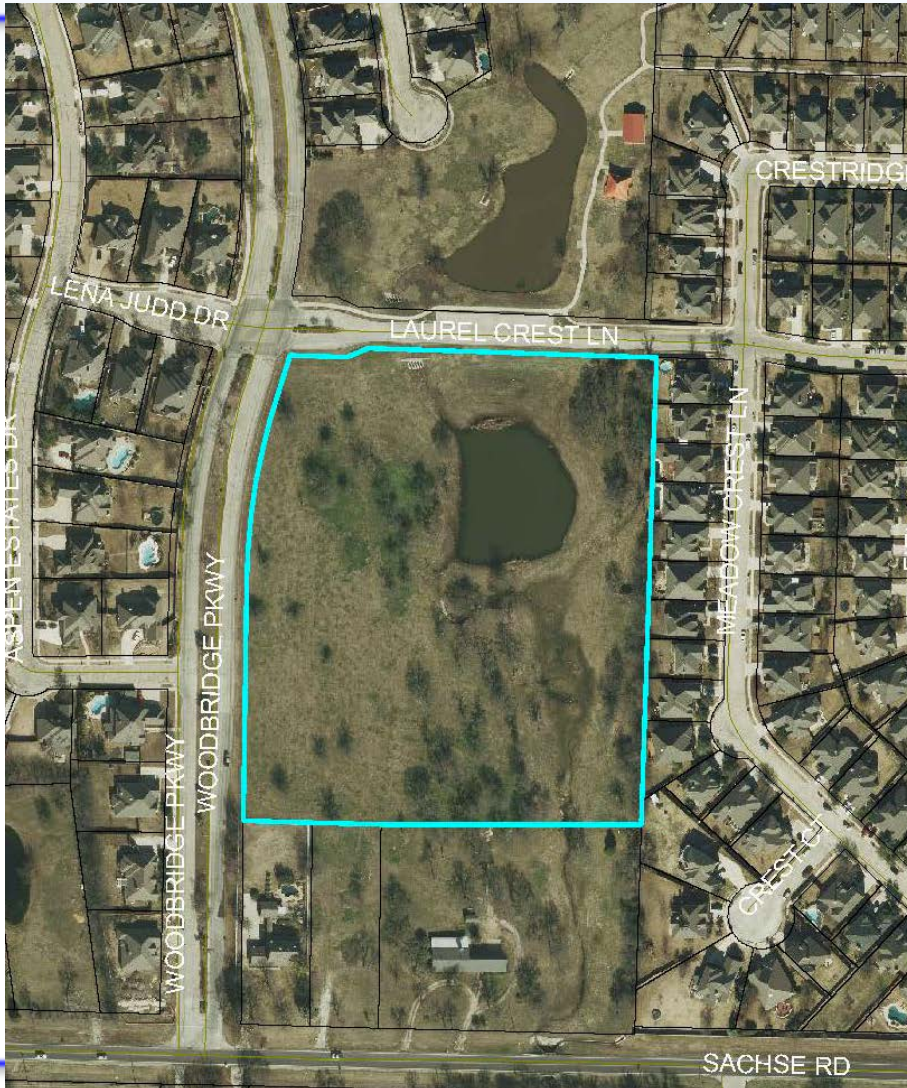
REQUEST

Consider and act on a preliminary plat application for The Enclave from Greg Edwards, generally located at the southeast corner of Woodbridge Parkway and Laurel Crest, within city limits.

PROJECT INFORMATION

- Proposal to preliminary plat 30 single family lots
- Applicant: Greg Edwards
- Owner: Cloud 9 Development
- Size: Approximately 9.9 acres
- Site Attributes: undeveloped land
- Proposed Use: Single Family residential
- Current Zoning: R-10 (single family residential)
 - Minimum Lot Area: 10,000 sf
 - Minimum Lot Width: 80 feet
 - Minimum House Area: 2,000

AERIAL MAP



The subject property is generally located at the southeast corner of Woodbridge Parkway and Laurel Crest, within city limits.

[illegible]

1857
 Designed: GKE
 Drawn: jac, rib
 Checked: GKE
 01
 OF
 01

STAFF RECOMMENDATION

- Per Staff's technical review, the proposed plat is in compliance with Sachse's subdivision regulations and zoning ordinance.
- The Planning & Zoning Commission unanimously recommended approval of the proposed plat on October 23, 2017.
- Staff recommends approval of the proposed plat, subject to all conditions stipulated by the Building Official & City Engineer.

√

Plat approval is not discretionary. If a plat meets all applicable standards and regulations, State law requires the City to approve the plat.



City of Sachse, Texas

Legislation Details (With Text)

File #: 17-4063 **Version:** 1 **Name:** Monthly Budget Reports for September 2017
Type: Agenda Item **Status:** Agenda Ready
File created: 10/30/2017 **In control:** City Council
On agenda: 11/6/2017 **Final action:**
Title: Accept the Monthly Revenue and Expenditure Report for the period ending September 30, 2017.
Sponsors:
Indexes:
Code sections:
Attachments: [All Funds 09-30-17](#)

Date	Ver.	Action By	Action	Result
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Title

Monthly Revenue and Expenditure Report for the period ending September 30, 2017.

Background

The Finance Department prepares a report each month to update the City Council regarding revenues and expenditures for the City. Included in the report are unaudited summaries for the General Fund, Utility Fund, Debt Service Fund, and Sachse Economic Development Corporation for the period ended September 30, 2017. September 30th is the end of the fiscal year; however, this report does not represent the final revenues and expenditures for the year because all closing entries and accruals have not been posted yet.

Policy Considerations

City Charter requires that the City Manager submit monthly a report covering revenues and expenditures.

Staff Recommendations

Accept the Monthly Revenue and Expenditure Report for the period ending September 30, 2017.

City of Sachse
Monthly Revenue and Expenditure Report
September 30, 2017
(Unaudited)

GENERAL FUND

100% of Year Completed

	Annual Budget	Current Month Actual	Actual YTD	YTD Actual as a Percent of Budget	Note Reference 100%
Revenue Summary					
Property Tax	\$ 10,076,929	\$ 2,487	\$ 10,344,255	102.65%	
Sales Tax	1,417,851	93,115	1,496,965	105.58%	
Franchise Fees	1,690,233	60,350	1,692,650	100.14%	
Licenses and Permits	757,000	31,026	717,132	94.73%	
Service Fees	721,500	43,839	876,195	121.44%	
Fines	280,000	20,129	265,873	94.95%	
Interest Income	12,000	7,960	65,833	548.61%	
Miscellaneous Income	350,946	24,563	278,423	79.34%	
Intergovernmental Revenue	1,024,611	85,384	1,024,611	100.00%	
Total Revenue	\$ 16,331,070	\$ 368,853	\$ 16,761,936	102.64%	
Expenditure Summary					
City Manager	\$ 383,103	\$ 53,425	\$ 348,522	90.97%	
City Secretary	152,153	11,101	146,438	96.24%	
Human Resources	323,107	26,239	288,873	89.40%	
Finance	548,026	34,693	527,312	96.22%	
Municipal Court	217,130	24,273	209,620	96.54%	
Parks & Recreation	1,136,014	132,393	1,122,380	98.80%	
Senior Programs	150,433	11,173	140,460	93.37%	
Library Services	471,191	33,572	453,779	96.30%	
Community Development	885,646	54,974	847,777	95.72%	
Streets & Drainage	1,921,862	361,790	1,839,246	95.70%	
Facilities Maintenance	553,868	46,889	535,366	96.66%	
Police	4,795,957	318,464	4,378,222	91.29%	
Animal Control	215,614	13,183	204,082	94.65%	
Fire/EMS	3,740,453	356,976	3,668,347	98.07%	
Combined Services	371,203	8,653	325,114	87.58%	
City Engineer	239,302	13,498	231,542	96.76%	
Information Technology	375,683	24,283	341,267	90.84%	A
Total Expenditures	\$ 16,480,745	\$ 1,525,578	\$ 15,608,348	94.71%	
Total Revenue Over/Under Expenses	\$ (149,675)	\$ (1,156,725)	\$ 1,153,588		

Explanation of Major Variances:

A New department for FY2017

City of Sachse
Monthly Revenue and Expenditure Report
September 30, 2017
(Unaudited)

UTILITY FUND

100% of Year Completed

	Annual Budget	Current Month Actual	Actual YTD	YTD Actual as a Percent of Budget	Note Reference 100%
Revenue Summary					
Water Revenue	\$ 5,602,656	\$ 744,612	\$ 6,623,379	118.22%	
Sewer Revenue	4,355,842	384,879	4,484,712	102.96%	
Fees	158,500	20,370	203,674	128.50%	
Interest Income	1,500	23,390	77,795	5186.36%	
Transfer In-Debt Service					
Miscellaneous Income	-	-	13,969		
Total Revenue	\$ 10,118,498	\$ 1,173,251	\$ 11,403,529	112.70%	
Expenditure Summary					
Utility Administration	\$ 360,973	\$ 28,553	\$ 325,497	90.17%	
Water Operations	7,043,677	343,216	5,153,318	73.16%	
Sewer Operations	3,737,513	382,869	3,463,026	92.66%	
Meter Reading	576,755	62,694	508,983	88.25%	
Total Expenditures	\$ 11,718,918	\$ 817,333	\$ 9,450,825	80.65%	
Total Revenue Over/Under Expenses	\$ (1,600,420)	\$ 355,918	\$ 1,952,704		

Explanation of Major Variances:

Monthly Revenue and Expenditure Report
September 30, 2017
(Unaudited)

DEBT SERVICE FUND

	100% of Year Completed				
	Annual Budget	Current Month Actual	Actual YTD	YTD Actual as a Percent of Budget	Note Reference 100%
Revenue Summary					
Property Tax	\$ 3,522,138	\$ 868	\$ 3,618,918	102.75%	
Interest Income	1,000	388	2,764	276.42%	
Miscellaneous Receipts			8,230		
Total Revenue	\$ 3,523,138	\$ 1,256	\$ 3,629,912	103.03%	
Expenditure Summary					
Fees	\$ 3,500	\$ 900	\$ 5,406	154.46%	
Principal	2,325,000	-	2,325,000	100.00%	A
Interest	1,180,897		1,187,096	100.52%	A
Transfer Out	1,202,427	-	1,202,427	100.00%	B
Total Expenditures	\$ 4,711,824	\$ 900	\$ 4,719,929	100.17%	
Total Revenue Over/Under Expenses	\$ (1,188,686)	\$ 356	\$ (1,090,017)		

A Principal payments are due in February and interest payments in February and August

B Transfer proceeds from 2016 Tax Notes to Capital Projects for prepayment of Fire Apparatus

City of Sachse
Monthly Revenue and Expenditure Report
September 30, 2017
(Unaudited)

SACHSE ECONOMIC DEVELOPMENT CORPORATION

100% of Year Completed

	Annual Budget	Current Month Actual	Actual YTD	YTD Actual as a Percent of Budget	Note Reference 100%
Revenue Summary					
Sales Tax	\$ 691,944	\$ 53,902	\$ 749,842	108.37%	A
Other Income	\$ -		\$ 502,845		
Interest Income	3,000	378	3,562	118.74%	
Total Revenue	\$ 694,944	\$ 54,280	\$ 1,256,249	180.77%	
Expenditure Summary					
Expenditures	688,809	137,188	453,520	65.84%	
Total Expenditures	\$ 688,809	\$ 137,188	\$ 453,520	65.84%	
Total Revenue Over/Under Expenses	\$ 6,135	\$ (82,908)	\$ 802,729		

Explanation of Major Variances:

A Proceeds from sale of land



City of Sachse, Texas

Legislation Details (With Text)

File #: 17-4061 **Version:** 1 **Name:** Recycle Art Contest Winners 2017
Type: Agenda Item **Status:** Agenda Ready
File created: 10/25/2017 **In control:** City Council
On agenda: 11/6/2017 **Final action:**
Title: Recognize the 2017 Recycle Art Contest Winners.

Sponsors:

Indexes:

Code sections:

Attachments:

Date	Ver.	Action By	Action	Result
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Title

Recognition of the 2017 Recycle Art Contest Winners.

Background

This will be the 6th year that the City of Sachse celebrates America Recycles Day. In addition to the America Recycles Day Proclamation, Story Time at the library on November 9, and education materials online and at the Sachse Library, the students at Cheri Cox Elementary were challenged to come up with a piece of artwork that was made from recycled materials. Rules were not set for this contest other than all artwork should be made from recycled materials such as old magazines, boxes, scrap paper, etc. All of the students did an excellent job on creating masterpieces from recycled materials. Today, we will recognize one student from each grade that was chosen as the winner from their grade for the best recycled art project.

The art contest winners projects are on display in the rotunda of City Hall. They will be moved to the Library and left on display until November 17th.

Kindergarten Winner: Maddie Nixon
1st Grade Winner: Lyla Fontenot
2nd Grade Winner: Seya Rivera
3rd Grade Winner: Aryn Thompson
Honorable Mention: John Frank Domaleski II

Jennifer Wiseman, Assistant Principal with Cheri Cox Elementary will be accepting on behalf of the children that are not in attendance.

Policy Considerations

None.

Budgetary Considerations

None.

Staff Recommendations

None.



City of Sachse, Texas

Legislation Details (With Text)

File #: 17-4060 **Version:** 1 **Name:** America Recycles Proclamation 2017
Type: Agenda Item **Status:** Agenda Ready
File created: 10/25/2017 **In control:** City Council
On agenda: 11/6/2017 **Final action:**
Title: Proclamation declaring November 15, 2017 as America Recycles Day.
Sponsors:
Indexes:
Code sections:
Attachments: [Proclamation](#)

Date	Ver.	Action By	Action	Result
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Title

Proclamation declaring November 15, 2017 as America Recycles Day.

Background

This will be the 6th year that the City of Sachse celebrates America Recycles Day. The Library will host a Story Time on November 9, at 11 am. During this Story Time, Park Board members and library staff will read stories about recycling and will also be giving out recycling items to the participants.

An informational table is set up at the Sachse Library where library patrons can view helpful information regarding recycling and we are also posting recycling tips on Facebook to promote the importance of recycling not only in our parks but also in the community.

Policy Considerations

None.

Budgetary Considerations

None.

Staff Recommendations

Proclaim November 15, 2017 as America Recycles Day.

The Parks and Recreation Department will be accepting the Proclamation.

PROCLAMATION

WHEREAS, the City of Sachse recognizes the importance of protecting and preserving our natural resources and adopting conscientious habits that will improve our daily lives and bring about a cleaner, safer, and more sustainable environment; and

WHEREAS, although there has been a significant increase in the amount of recycling in Sachse to date, we must also continue to focus on other initiatives such as waste reduction, composting, the reuse of products and materials, and purchasing recycled products; and

WHEREAS, by encouraging businesses, state agencies, nonprofit organizations, schools and individuals to celebrate America Recycles Day 2017, we can further promote recycling as an environmentally efficient and economically smart habit; and

WHEREAS, it is important that all Sachse citizens become involved in recycling activities and learn more about the many recycled and recyclable products available to them as consumers; it is also fitting for the City of Sachse to celebrate America Recycles Day 2017 and take action by educating citizens about the recycling options available in our community;

NOW, THEREFORE pursuant to the powers vested in me as Mayor of the City of Sachse, I do hereby proclaim **November 15, 2017 as "America Recycles Day"** in the City of Sachse, Texas.

IN WITNESS WHEREOF, I have hereunto set my hand and caused the Seal of the City of Sachse, Texas to be affixed this the 6th day of November, 2017.

Mike J. Felix
Mayor



City of Sachse, Texas

Legislation Details (With Text)

File #: 17-4036 **Version:** 1 **Name:** Boards and Commissions Appointments.
Type: Agenda Item **Status:** Agenda Ready
File created: 10/17/2017 **In control:** City Council
On agenda: 11/6/2017 **Final action:**
Title: Consider appointments to the City's Boards and Commissions.
Sponsors:
Indexes:
Code sections:
Attachments:

Date	Ver.	Action By	Action	Result
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Title
Appointments to the City's Boards and Commissions.

Background
Every year the City Council considers appointments to the City's Boards and Commissions. Interviews of members with expiring terms as well as new applicants prior to said appointments were interviewed on October 11, October 16, and October 18, 2017.

Policy Considerations
None.

Budgetary Considerations
None.

Staff Recommendations
Consider appointments to the City's Boards and Commissions as appropriate.

- * Planning and Zoning Commission
- * Economic Development Corporation
- * Board of Adjustments
- * Library Board
- * Parks and Recreation
- * Animal Shelter



City of Sachse, Texas

Legislation Details (With Text)

File #:	17-4062	Version:	1	Name:	Red, White and Blue Blast 2018
Type:	Agenda Item	Status:		Status:	Agenda Ready
File created:	10/30/2017	In control:		In control:	City Council
On agenda:	11/6/2017	Final action:		Final action:	
Title:	Consider a resolution approving the terms and conditions of a three year agreement between the City of Sachse, Texas, and Pyro Shows of Texas for a fireworks display on July 3, 2018, 2019 and 2020, at Heritage Park in the amount of \$20,800 for each year; and providing for an effective date.				

Sponsors:

Indexes:

Code sections:

Attachments: [Fireworks Contract](#)
[Resolution](#)

Date	Ver.	Action By	Action	Result
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Title

Fireworks Agreement

Background

The City held its first Independence Day fireworks show in 2008. The show in 2018 will be the city's 11th consecutive year to offer this community event. Pyro Shows of Texas produced its' first show in Sachse on July 3, 2017, for \$20,000, bringing for the first time to this event a digital presentation, choreographed soundtrack, and a fireworks presentation that layered the sky with 3"- 8" shells.

Policy Considerations

The City Council has expressed a desire to continue this community event.

Budgetary Considerations

The cost of the fireworks was budgeted for in the 2017-18 fiscal year budget. As in years past, staff will request financial support from the Sachse EDC to use toward expenses and will again work with the Sachse Chamber of Commerce to obtain sponsorships and vendors to help offset costs of activities and entertainment. By signing a 3 year agreement with Pyro Shows, we are locking in a rate of \$20,800 for 3 consecutive years. This is an increase of 4% (\$800) from the 2017 show, which was \$20,000.

Staff Recommendations

Staff recommends approval of a resolution approving the terms and conditions of a 3 year agreement by and between the City of Sachse, Texas, and Pyro Shows of Texas for a fireworks display on July 3, 2018, 2019, and 2020, at Heritage Park in the amount of \$20,800

for each year; and providing for an effective date.

PYRO SHOWS OF TEXAS
6601 NINE MILE AZLE ROAD
FORT WORTH, TX 76135

Contract Agreement

This Agreement, made this ____ Day of November 2017, by and between **PYRO SHOWS OF TEXAS, Inc.**, a Texas Corporation, whose address is 6601 Nine Mile Azle Road, Fort Worth, Texas 76135, and hereinafter referred to as **PYRO SHOWS** and **CITY OF SACHSE**, with its principle place of business located at 3815- B Sachse Road, Sachse, Texas, hereinafter referred to as "Customer."

WITNESSETH

In consideration of the mutual promises and undertakings set forth herein, receipt of said consideration being acknowledged, the parties hereby agree as follows:

I. FIREWORKS DISPLAY: PYRO SHOWS agrees to furnish to customer a firework display (hereinafter "SHOW") pursuant to our custom proposal 18-TX-07-03-C-20800-000017. The show will be given on the **3rd Day of July, 2018, July 3, 2019, and July 3, 2020**. In case of rainout, display show will be held on date mutually agreed upon by both parties.

II. CANCELLATION: PYRO SHOWS shall determine what weather conditions prohibit PYRO SHOWS from proceeding with the Show; in which case, PYRO SHOWS agrees to present the Show on the following day or previously agreed upon rain date. In addition to contracted Show cost, Customer shall remit the actual additional expenses PYRO SHOWS shall incur in presenting the show on subsequent occasion to include labor, lodging, per diem etc.; in no event shall these additional expenses be less than ten percent (10%) of the contracted price of the Show. In the event the Show must be **RESCHEDULED** to a mutually agreed upon date other than the previously agreed upon rain date, In addition to contracted Show cost, Customer shall remit the actual additional expenses PYRO SHOWS shall incur in presenting the Show on subsequent occasion to include labor, lodging, per diem etc.; in no event shall these expenses be less than thirty percent (30%) of the contracted price of the Show. Should Customer elect to **CANCEL** the Show for any reason, Customer must provide PYRO SHOWS with a thirty (30) days' written notice by certified mail, return receipt, to PYRO SHOWS' address as set forth above. Customer agrees that PYRO SHOWS shall incur substantial expense in preparation for the Show and, accordingly, agrees to pay PYRO SHOWS fifty percent (50%) of the total contract price for the show as liquidated damages for cancellation. If the Customer does not provide PYRO SHOWS with notice as set forth herein, Customer shall pay PYRO SHOWS the entire amount or one hundred percent (100%) of the contract price for the Show as liquidated damages.

III. SECURITY AREA: Customer agrees to furnish sufficient space for PYRO SHOWS to properly conduct the Show as determined by NFPA 1123-2010 (hereinafter "Security Area"). Customer agrees to provide adequate security protection to preclude persons unauthorized by PYRO SHOWS from entering the Security Area. For the purposes of the Agreement, "Unauthorized Persons" shall mean anyone other than the employees of PYRO SHOWS or persons specifically designated in writing by the sponsor, and submitted and approved, to PYRO SHOWS prior to the event.

IV. SITE CLEANUP: PYRO SHOWS shall be responsible for basic cleanup of the launch area to include policing of the fallout zone for any unexploded ordnance and removal of all large paper debris, wood, wire, foil, racks, mortars and firing equipment used in the setup for the show. Customer shall be responsible for cleanup of fireworks debris located in and around fallout zone.

V. INDEMNIFICATION AND HOLD HARMLESS: To the extent permitted by law, Customer agrees to hold PYRO SHOWS harmless from any damages caused to Customer which result as a consequence of unauthorized persons entering the Security Area. Furthermore, Customer agrees to defend and indemnify PYRO SHOWS from any and all claims brought against PYRO SHOWS for damages caused wholly or in part by Unauthorized Person who have entered the Security Area.

VI. AMENDMENT & ASSIGNMENT: To the extent permitted by law, this agreement is deemed personal and confidential to Customer, his heirs, executors and administrators only, and may not be sold, assigned, amended, or transferred without the prior written consent of PYRO SHOWS.

VII. PERMITS AND LICENSES: PYRO SHOWS shall be responsible for and Customer agrees to assist PYRO SHOWS in the acquisition and maintenance of all necessary permits and licenses to enable PYRO SHOWS to perform fully hereunder unless otherwise forbidden by any other applicable statute, rule or otherwise. Any expenses for security or stand by fire protection shall be the responsibility of the customer. It is hereby stipulated that this Agreement is to be construed and governed by the laws of the State of Texas, and any suit involving this contract shall be brought in the Courts of Tarrant County in the State of Texas, and the Customer hereby submits itself to the jurisdiction of said Courts and waives its rights to proceed against PYRO SHOWS in and other actions, in any other jurisdiction.

VIII. COMPLIANCE WITH OTHER LAWS AND REGULATIONS: Except as provided for in Section VII. PERMITS AND LICENSES, promptly upon the execution of this Agreement, Customer shall apply for the approval hereof to any agency, officer or authority of any government if such approval is required by any applicable law, ordinance, code or regulation. Customer agrees to indemnify and hold harmless PYRO SHOWS from against all claims, suits, and causes of action, demands, penalties, losses or damages which may arise or accrue because of the failure or neglect of customer to obtain such approval. This Agreement is made expressly subject to and Customer expressly agrees to comply with and abide by all applicable laws, ordinances, codes and regulations insofar as the same may be applicable to the terms and conditions of this Agreement, including all rules and regulations now existing or that may be promulgated under and in accordance with any such law or laws.

IX. LATE PAYMENT: PYRO SHOWS shall charge, and Customer agrees to pay, one and one half percent (1 1/2%) per month late payment fee for each month until PYRO SHOWS is paid the amount set forth in Paragraph XIV herein. The stated late payment fee shall begin to run from the applicable date(s) established in Section XV, unless this provision is prohibited by law.

X. ADVERTISEMENT AND PROMOTIONS: Customer agrees to state that fireworks display is being provided by Pyro Shows in all advertisements and promotions. Furthermore, Customer agrees to allow Pyro Shows to use sponsors name in Pyro Shows list of clients and any Pyro Shows advertisements and promotions.

XI. COMPLAINTS: In the event that Customer has a complaint concerning the Show, or any material or product used in or pursuant to the Show, or of the conduct of the Show by PYRO SHOWS, or any act or omission of PYRO SHOWS or its agents, either directly or indirectly, without limitation, Customer shall make complaint known to PYRO SHOWS in writing by certified mail to PYRO SHOWS' address as set forth above, within ten (10) days after the date of the Show. In the event that Customer fails to register any complaint in the time and in the manner specified, Customer agrees that it shall not claim such complaint as cause for an offset or withhold any payment due to PYRO SHOWS hereunder on account of or because of such complaint or any matter arising from, relating to or a consequence of the complaint. Furthermore, Customer agrees that should PYRO SHOWS have to collect any amount due PYRO SHOWS hereunder which Customer claims as an offset or which is withheld by Customer on account of, or because of, a complaint not registered with PYRO SHOWS in the time and in the manner specified herein, by law or through an Attorney-at-Law, PYRO SHOWS shall be entitled to collect attorneys' fees in the amount of 15% of the amount owing PYRO SHOWS or the maximum amount allowed by law, whichever is greater, along with all cost of collection.

XII. WORKER'S COMPENSATION/EMPLOYEES: PYRO SHOWS shall provide Worker's Compensation insurance for its employees only.

XIII. INSURANCE: Pyro Shows will provide General Liability Insurance and Automobile Liability in the amount of \$5,000,000, combined single limit, covering its activities and services in connection with the show described in this contract. Pyro Shows also agrees to include Customer and Customer's Sponsors as additional insured's under the terms of this coverage. Pyro Shows of Texas, Inc. will provide a certificate of Insurance. All entities listed on the certificate will be deemed an additional Insured per this contract.

XIV. PAYMENT TERMS: CITY OF SACHSE shall pay PYRO SHOWS \$20,800 plus all applicable taxes according to the terms and conditions set forth in the attached Proposal for presenting the Show. Customer shall submit a 50% deposit (\$10,400) upon return of signed contract by December 1, 2017, and December 1st each year following (2018, 2019). Balance will be due in PYRO SHOWS office NET 30 upon invoice.

XV. TAXES: Customer shall be responsible for all applicable sales taxes.

IMPORTANT: Checks must be payable to PYRO SHOWS OF TEXAS, INC.

All the terms and conditions set forth on any addendum attached to this Agreement are made part of this Agreement and incorporated by reference herein.

IN WITNESS WHEREOF, the parties have hereunto set their hands and seals the day and year first above written.

PYRO SHOWS OF TEXAS, INC.

BY: _____ Date _____
Steve Frantz, Vice President

CITY OF SACHSE

BY: _____ Date _____
Signature Print Name Title

WARRANTY EXCLUSIONS

EXCEPT AS SPECIFICALLY PROVIDED HEREIN, THERE ARE NO WARRANTIES, EXPRESS OR IMPLIED, INCLUDING ANY WARRANTY OF MERCHANTABILITY OR FITNESS FOR A PARTICULAR PURPOSE.

No representation of affirmation of fact including but not limited to statement regarding capacity, suitability for use, or performance of equipment or products shall be, or be deemed to be, a warranty by PYRO SHOWS for any purpose, nor give rise to any liability or obligation of PYRO SHOWS whatsoever.

IN NO EVENT SHALL PYRO SHOWS BE LIABLE FOR ANY LOSS OF PROFITS OR OTHER ECONOMIC LOSS, INDIRECT, SPECIAL, CONSEQUENTIAL, OR OTHER SIMILAR DAMAGES ARISING OUT OF ANY CLAIMED BREACH OF OBLIGATIONS HEREUNDER.

RESOLUTION NO. _____

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SACHSE, TEXAS, APPROVING THE TERMS AND CONDITIONS OF A 3 YEAR AGREEMENT BY AND BETWEEN THE CITY OF SACHSE, TEXAS, AND PYRO SHOWS OF TEXAS FOR A FIREWORKS DISPLAY ON JULY 3, 2018, 2019, AND 2020, AT HERITAGE PARK; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City Council of the City of Sachse has been presented with a proposed 3 Year Agreement between the City of Sachse and Pyro Shows of Texas (the “Agreement”) for a fireworks display on July 3, 2018, 2019, and 2020, at Heritage Park;

WHEREAS, upon full review and consideration of the Agreement and all matters related thereto, the City Council is of the opinion and finds that the terms and conditions thereof should be approved, and that the City Manager should be authorized to execute the Agreement thereto on behalf of the City of Sachse, Texas;

NOW THEREFORE BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF SACHSE, TEXAS:

SECTION 1. That the City Manager is hereby authorized to execute the 3 year Agreement with Pyro Shows of Texas for a fireworks display on July 3, 2018, 2019, and 2020, at Heritage Park.

SECTION 2. This Resolution shall take effect immediately from and after its passage, and it is accordingly so resolved.

DULY RESOLVED AND ADOPTED by the City Council of the City of Sachse, Texas, this the _____ day of _____, 2017.

CITY OF SACHSE, TEXAS

Mike J. Felix, Mayor

ATTEST:

Michelle Lewis Sirianni, City Secretary



City of Sachse, Texas

Legislation Details (With Text)

File #:	17-4052	Version:	1	Name:	Collin Central Appraisal District Voting
Type:	Agenda Item	Status:		Status:	Agenda Ready
File created:	10/23/2017	In control:		In control:	City Council
On agenda:	11/6/2017	Final action:		Final action:	
Title:	Consider a resolution casting its vote(s) for the Collin Central Appraisal District Board of Directors.				
Sponsors:					
Indexes:					
Code sections:					
Attachments:	Resolution				

Date	Ver.	Action By	Action	Result
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Title

Collin Central Appraisal District Board of Directors Voting

Background

Every two years, in odd numbered years, the City casts its votes for member(s) of the Board of Directors of the Collin Central Appraisal District. This year we have 12 votes to cast. We can cast all of our votes for 1 individual or split the 12 votes in any manner among any of the nominees. In 2011 and 2013, Sachse City Council placed all votes to Dr. Leo Fitzgerald and in 2015 casted all votes for Wayne Mayo. At the October 2, 2017 Council meeting, the Council nominated Mr. Wayne Mayo.

This year's candidates include: Earnest Burke (Plano), Ronald Carlisle (Frisco), Wayne Mayo (Richardson), Michael A. Pirek (Plano), Gary Rodenbaugh (Allen), and Ed Standridge (Parker).

- **Earnest Burke**: Is a current board member and has served since January, 2016. Nominated by Plano ISD and Collin County Community College. Resides in Plano, TX.

- **Ronald Carlisle**: Is a current board member and has served since January, 1994. Nominated by Frisco ISD and Collin County Community College. Resides in Frisco, TX.

- **Wayne Mayo**: Is a current board member and has served since January, 1998. Nominated by the City of Lucas, the City of Richardson, Sachse, Plano ISD and Collin County Community College. Resides in Richardson, TX.

- **Michael A. Pirek**: Is a current board member and has served since January, 2014. Nominated by the City of Plano, Plano ISD, and Collin County Community College. Resides in Plano, TX.

- **Gary Rodenbaugh**: Is a current board member and has served since January, 2001. Nominated by the Allen ISD, and Collin County Community College. Resides in Allen, TX.

- **Ed Standridge**: Nominated by the City of Parker. Resides in Parker, TX.

Policy Considerations

None.

Budgetary Considerations

None.

Staff Recommendations

Consider a resolution casting its vote(s) for the Collin Central Appraisal District Board of Directors.

RESOLUTION NO. _____

**A RESOLUTION OF THE CITY OF SACHSE, TEXAS, CASTING ITS VOTES
FOR THE BOARD OF DIRECTORS OF THE COLLIN COUNTY CENTRAL
APPRAISAL DISTRICT; AND PROVIDING FOR AN EFFECTIVE DATE.**

WHEREAS, the City of Sachse is a member of the Collin County Central Appraisal District; and

WHEREAS, as a member of such organization, Sachse is entitled to nominate and vote on nominees for the Board of Directors; and

WHEREAS, the City of Sachse has twelve (12) votes to cast regarding the election of the Board of Directors; and

WHEREAS, the City of Sachse does hereby cast its vote(s) by marking the ballot below:

_____ Earnest Burke
_____ Ronald Carlisle
_____ Wayne Mayo
_____ Michael A. Pirek
_____ Gary Rodenbaugh
_____ Ed Standridge

**NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY
OF SACHSE, TEXAS, THAT:**

SECTION 1. That the Council of the City of Sachse, Texas does hereby confirm its twelve (12) votes for the election of the Board of Directors of the Collin County Central Appraisal District.

SECTION 2. That this resolution shall become effective immediately upon approval.

DULY RESOLVED AND APPROVED by the City Council of the City of Sachse, Texas,
this 6th day of November, 2017.

APPROVED:

Mike J. Felix, Mayor

ATTEST:

Michelle Lewis Sirianni, City Secretary



City of Sachse, Texas

Legislation Details (With Text)

File #:	17-4056	Version:	1	Name:	Dallas Central Appraisal District Voting
Type:	Agenda Item	Status:		Status:	Agenda Ready
File created:	10/23/2017	In control:		In control:	City Council
On agenda:	11/6/2017	Final action:		Final action:	
Title:	Consider a resolution casting its vote for the fourth member of the Board of Directors of the Dallas Central Appraisal District.				

Sponsors:

Indexes:

Code sections:

Attachments: [Resolution](#)

Date	Ver.	Action By	Action	Result
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Title

Dallas Central Appraisal District Voting

Background

Every two years, in odd numbered years, all suburban cities cast their vote for one individual to the Board of Directors. In 2015, the Council nominated and voted for Mr. Michael Hurtt to be reconsidered for the position. Mr. Hurtt has been Sachse's choice for this position the past several years. At the October 2, 2017 Council meeting, Council nominated Councilman Franks to be considered as the representative for the suburban cities' to the Board of Directors.

The nominees are as follows including the nominating cities.

- **Brett Franks** - Sachse, TX
- **Mike Howard** - Irving, TX
- **Michael Hurt** - Desoto, Farmers Branch, Ovilla, Richardson

Policy Considerations

None.

Budgetary Considerations

None.

Staff Recommendations

Consider a resolution casting its vote for the fourth member of the Board of Directors of the Dallas Central Appraisal District (DCAD).

RESOLUTION NO. _____

A RESOLUTION OF THE CITY OF _____, DALLAS COUNTY, TEXAS, CASTING ITS VOTE FOR THE FOURTH MEMBER OF THE BOARD OF DIRECTORS OF THE DALLAS CENTRAL APPRAISAL DISTRICT.

WHEREAS, Dallas County eligible taxing entities have expressed and approved an option which allows for representation to the Appraisal District Board of Directors (in accordance with Section 6.03 of the Texas Property Tax Code) as follows:

1. The City of Dallas shall appoint one (1) member to the Board.
2. The Dallas Independent School District shall appoint one (1) member to the Board.
3. The Dallas County Commissioners Court shall appoint one (1) member to the Board. The member appointed by the Dallas County Commissioners Court shall not be a resident of either the City of Dallas or the Dallas Independent School District.
4. Each of the incorporated cities and towns, except for the City of Dallas, shall have the right to nominate by an official resolution one (1) candidate as the fourth member of the Board of Directors. The said cities and towns shall, from the nominations received, elect by a majority vote, with each city and town being entitled to one (1) vote, the fourth member of the Board of Directors.
5. Each of the School Districts, and the Dallas County Community College District, except the Dallas Independent School District, shall have the right to nominate by an official resolution one (1) candidate as the fifth member of the Board of Directors. The said school districts shall, from the nominations received, elect by a majority vote, with each school district and the community college district being entitled to one (1) vote, the fifth member of the Board of Directors.

The votes required for election to the Board of Directors in 4 and 5 hereof shall be by a majority of those authorized to vote in 4 and 5 respectively and not by a majority of the quorum, and

WHEREAS, the City of _____ does hereby cast its vote by marking the ballot below:
(Check one only)

- ☐ **Brett Franks**
☐ **Mike Howard**
☐ **Michael Hurtt**

NOW, THEREFORE BE IT RESOLVED that the City Council of the City of _____ does hereby confirm its one (1) vote for the election of _____ as the suburban cities' representative to the Board of Directors of the Dallas Central Appraisal District.

PASSED AND APPROVED, this the _____ day of _____, 2017

MAYOR

ATTEST:

CITY SECRETARY

SEAL:



City of Sachse, Texas

Legislation Details (With Text)

File #:	17-4058	Version:	1	Name:	PGBT zoning district - CC PH 11-06-17
Type:	Agenda Item	Status:		Status:	Agenda Ready
File created:	10/24/2017	In control:		In control:	City Council
On agenda:	11/6/2017	Final action:		Final action:	
Title:	Conduct a public hearing to consider an ordinance amending the Code of Ordinances by amending Chapter 11 titled "Zoning Ordinance" by amending Exhibit 1 by amending Article 3 titled "Districts" by replacing Section 14 titled "Sachse Turnpike Overlay District Standards" with a new Section 14 titled "PGBT Zoning District".				
Sponsors:					
Indexes:					
Code sections:					
Attachments:	Ordinance				

Date	Ver.	Action By	Action	Result
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Title

Public Hearing - PGBT Zoning

Background

Two (2) public hearings are scheduled for tonight. The first is for the adoption of the PGBT zoning district regulations into Chapter 11 (Zoning) of the Code of Ordinances. The second is for the city-initiated rezoning of the land within the PGBT area to the new PGBT zoning district.

On October 9th, Gateway Planning presented to a special joint work session of the City Council and Planning & Zoning Commission, led a discussion, and received feedback on the proposed PGBT zoning.

Tonight, following a presentation by Gateway Planning, the Planning & Zoning Commission will conduct two (2) public hearings for the PGBT zoning project.

Policy Considerations

Do the proposed PGBT zoning district regulations match the vision outlined in the 2017 Comprehensive Plan for a unique, mixed use destination center?

Budgetary Considerations

N/A

Next Steps

- Joint City Council and P&Z work session (10-09-17)

- Public hearings by P&Z (10-23-17)
- Public hearings by City Council (11-06-17)

Recommendation

Approve an ordinance amending the Code of Ordinances by amending Chapter 11 titled "Zoning Ordinance" by amending Exhibit 1 by amending Article 3 titled "Districts" by replacing Section 14 titled "Sachse Turnpike Overlay District Standards" with a new Section 14 titled "PGBT Zoning District".

NO. _____

AN ORDINANCE OF THE CITY OF SACHSE, TEXAS, AMENDING THE CODE OF ORDINANCES BY AMENDING CHAPTER 11 TITLED "ZONING ORDINANCE" BY AMENDING EXHIBIT 1 BY AMENDING ARTICLE 3 TITLED "[DISTRICTS]" BY REPLACING SECTION 14 TITLED "SACHSE TURNPIKE OVERLAY DISTRICT STANDARDS" WITH A NEW SECTION 14 TITLED "PGBT ZONING DISTRICT"; PROVIDING FOR A CONFLICTS CLAUSE; PROVIDING FOR A REPEALING CLAUSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING A SAVINGS CLAUSE; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED TWO THOUSAND DOLLARS (\$2,000.00); AND PROVIDING FOR AN EFFECTIVE DATE.

NOW THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF SACHSE, TEXAS:

SECTION 1. That the City of Sachse Code of Ordinances is amended by amending Chapter 11 titled "Zoning Ordinance" by amending Exhibit 1 by amending Article 3 titled "[Districts]" by replacing Section 14 titled "Sachse Turnpike overlay district standards" with a new Section 14 titled "PGBT zoning district", to read as follows:

"Chapter 11

ZONING ORDINANCE

...

EXHIBIT I

...

ARTICLE 3. [DISTRICTS]

...

Sec. 14. PGBT zoning district.

14.1 *Purpose and intent.*

- A. The purpose of the PGBT Area Zoning District, hereafter known as the PGBT District, is to facilitate the development of the PGBT Area into a walkable, mixed-use environment with shopping, employment, housing and regional retail services. Development within this District shall implement the vision adopted in the Comprehensive Plan, adopted March 2017. The prescribed Character Areas within the District facilitate a variety of development types to meet the preferences of the market and to

be responsive to development innovations. The purpose of the District is to advance development; promote sustainable land use patterns; protect Sachse's long-range tax base; encourage pedestrian activity; and support an attractive community.

- B. *Establish specific development standards.* The PGBT District Regulating Plan (Appendix 1), hereafter known as the Regulating Plan, establishes the Character Areas. The respective Character Areas determine which specific development standards apply. Creation of different Character Areas within the PGBT Area enables specific site and locational standards to be applied. Graphic standards are provided for location, height and building elements.

14.2 *Components of the Code.*

- A. *Applicability of Other City Ordinances.* This section governs the PGBT Area Zoning District except where others are referenced or where other ordinances of Sachse's Code of Ordinances apply and are not in conflict with the PGBT District.
- B. *PGBT Area Regulating Plan.* The PGBT District Regulating Plan identifies applicable Character Areas within the PGBT Area including:
 - 1. *Character Areas.* The PGBT Area is divided into three Character Areas. A Character Area creates a distinct urban form, which is different from urban forms in other Character Areas. Each Character Area establishes use and development standards including height, bulk, building and parking location, and functional design. The Regulating Plan classifies all lots within the PGBT Area into one of the Character Areas.
 - 2. *Street Designations by Street Type.* The Street Designations illustrate the design, configurations and development context for streets within the PGBT Area. The street designation addresses vehicular lane widths, number of lanes, pedestrian accommodation, street tree requirements, on-street parking, and parkway and median standards (streetscape standards). In addition, streets are distinguished by the appropriate development context by denoting them on the Regulating Plan as Type A or Type B streets.
 - 3. *Street Network.* The Street Network consistent of Mandatory Streets and Local Streets for the future streets needed to implement the Regulating Plan. The Mandatory and illustrative streets shall generally meet the locational and connectivity goals of the PGBT District. Street design shall be guided by the Street Type Specifications.

- C. *Development Standards.* The Code (the text portion of this Code) enumerates the development standards with text and graphics for Character Areas, building form, civic open space, landscape, building design, signage, lighting and all related standards for streets, public and private development.

14.3 *Administration.* This section sets forth the provisions for reviewing and approving development applications within the PGBT Area. The intent is to ensure that all development is consistent with the provisions of this Code. All sections of this Code shall be applied during the review process.

- A. *Using this Code.* The following steps should be followed to determine the uses and the development standards applicable on the property within the PGBT Area:

1. Locate the subject property on the PGBT Area Regulating Plan.
2. Identify (1) the Character Area in which the property is located; (2) the network of Mandatory and Local Streets; and (3) the Street Type designations for those streets along all the property's street frontages.
3. Review the Schedule of Uses by Character Area as listed in Table 14.5.1.
4. Examine the corresponding zone standards in the Development Standards in Section 14.6 to determine applicable development standards.
5. Refer to Section 14.7 for Architectural Standards and Design Guidelines.
6. Refer to Section 14.8 for Streetscape and Street Design Standards

- B. *Development Process.* Development within the PGBT Area that complies with the provisions of this Code shall follow the City's development process as outlined in the City of Sachse's Code of Ordinances and shall be approved by the City Manager or designee. In addition to complying with applicable City regulations that are not in conflict with this Code, the applicant shall provide the information required to adequately show compliance with this Code.

- C. *Development Plan Approval Standards.* If a development plan conforms to the standards set forth in this Code, Regulating Plan and other applicable City regulations not in conflict with this Code, the development plan shall be approved. Upon request by the Applicant, the authority charged with

approving the development plan shall certify the reason(s) for an action taken.

D. *City Manager or Designee.* The City Manager or designee shall be responsible for the following:

1. Reviewing development plan applications for compliance and giving approval for applications within the PGBT Area.
2. Making determinations on the applications and interpretations of standards in this Code.
3. Approving revisions to previously approved development plans that comply with this Code and all applicable City ordinances.
4. Reconciling any potential ambiguities or conflicts between other City codes and this Code.
5. Approving any minor modifications to the approved Regulating Plan per Section 3.5.
6. Recommendations on Special Development Plan (SDP) applications to Planning Commission and City Council.
7. Determining if a proposed use is within the intent of permitted uses in the Code so that it may also be deemed permitted.

E. *Minor Modifications.* The City Manager or designee shall have the authority to approve a request for minor modifications to the Code that:

1. Does not materially change the circulation on the site;
2. Does not materially change the walkable relationship between the buildings and the street;
3. Does not allow a use otherwise authorized in this Code, unless substantially similar to a use already permitted; or
4. Does not allow greater height of any building except for non-habitable architectural features;

The City Manager or designee shall have the authority to approve minor modifications per Table 14.3.1. Any appeals to the decisions of the City Manager on minor modifications shall follow the process below:

- a. *Initiation of an Appeal.* The applicant may appeal a decision of the City Manager or designee. The written request to appeal shall be submitted to the City Manager or designee within 14 calendar days following the denial decision.
- b. *Appeal to Planning and Zoning Commission.* The Commission shall consider the appeal at an open meeting no later than 30 calendar days after the date on which the notice of appeal is submitted to the Director of Development Services. At this meeting, new information may be presented and considered, if available, that might alter the previous decision to deny the Minor Modification. The Commission may affirm, modify or reverse the previous decision by simple majority vote.
- c. *Appeal to City Council.* The applicant or the City Manager may appeal the Commission's decision by submitting a written notice of appeal to the City Manager or designee within 14 calendar days following the Commission's decision. The City Council shall consider the appeal at an open meeting no later than 30 calendar days after the date on which the notice of appeal is submitted to the Director of Development Services. The City Council may affirm, modify or reverse the Commission's decision by simple majority vote. The decision of the City Council is final.

Any City Council denials of Minor Modifications or any changes beyond those that meet the criteria in Section and the thresholds established in Table 14.3.1, shall be processed as an amendment to this Code.

TABLE 14.3.1 MINOR MODIFICATIONS ALLOWED

Standard	Minor Modification Allowed	Comments
Area/Boundary of Character Area	No more than a 15% change (increase or decrease) in any Character Area (aggregate or per block)	• Shall not eliminate any Character Area • 15% measurement shall be based on the total area of that Character Area within the entire PGBT Area. • The Turnpike Transition Area shall remain contiguous along Hudson and Merritt Road as depicted in the originally adopted Regulating Plan.
Setback Range	No more than 30% change in the maximum or minimum setback	• Changes to the Street Setback Lines may only be due to any changes to the street cross-sections or change in the width of the sidewalk. • In no case shall a sidewalk be less than six (6) feet in length.
Building Frontage	No more than a 30% reduction in the required building frontage along each block of a Type A Street.	• Any reduction in the required building frontage shall be to accommodate porte-cocheres for drop-off and pick-up. • Should also allow for conditions such as utility easements; large, existing trees; or other physical/ topographical constraints.
Street Screen	Waiver of Street Screen requirement along a Type B Street	• Requirement for a street screen may only be waived along a Type B Street along the frontage of any interim surface parking lot (off-street) that is intended to be filled with a parking structure or future building. • In no case shall any portion of the surface parking have frontage along a Type A Street without a required street screen.
Street Location and Cross Sections	Street location within the connected network and implementing cross sections of new streets may be adjusted with respect to number of lanes, lane widths, on-street parking configuration, pedestrian accommodation and street tree planting.	• Any changes to the street locations within the network and implementing street cross section design shall be based on specific development context such as opportunities to increase connectivity within the multimodal network, advance complete street functionality, preserve natural features, advance low impact drainage to improve fire access, and to advance similar outcomes. • Can amend right-of-way (ROW) width and/or components up to 15%
Landscaping	Alternative landscaping in terms of quantity, species type, and/or location may be submitted for consideration by the City Manager or designee.	• A detailed landscape concept plan shall be submitted for review in order to be accepted as an alternative.

Street Classification	Type	A Type B Street may be designated as a Type A Street with review and approval of design details by the City Manager or designee.	• Detailed plan and cross section required for approval of street type change.
Architecture		Alternative architectural concepts that meet the spirit and intent of the code may be considered by the City Manager or designee	• A detailed architectural plan and/or elevations shall be submitted for review in order to be accepted as an alternative.

F. *Major Modifications.* A request for a modification of any of the standards of this Code other than minor modifications permitted under Section 14.3(E), such as a change in use or major spatial modification, shall be reviewed and processed as a Major Modification.

1. Major Modifications are intended to allow applicants development flexibility to address specific market opportunities. An application for a Major Modification shall be in the same manner as a Minor Modification and shall be considered by the City Council after the Planning Commission has made a recommendation. The City Manager or designee reviews, makes recommendations on any major modifications and shall forward all applications to the Planning Commission for recommendations to City Council. In evaluating a major modification, City Council shall consider the extent to which the application meets any of the following:
 - a. Provides an alternative Master Plan approach by consolidating multiple properties to create a predictable, market responsive development for the area;
 - b. Fits the adjoining context by providing appropriate transitions; or
 - c. Maintains the overall intent of the Comprehensive Plan and the PGBT Zoning District.

G. *Parking.* All off-street parking requirements may be modified through alternative parking plans, shared parking agreements or other similar mechanisms to advance the goals of walkability and connectivity if approved by the City Manager or his or her designee. Parking lot locations and site design standards can be modified to facilitate creative site plans and mixed-use contexts by the approval of the City Manager or designee, as long as they encourage walkability and are consistent with the overall intent of the respective Character Area.

H. *Non-Conforming Uses and Buildings.* Regardless of transfer of ownership, non-conforming buildings that are utilized for single family residential or

houses of worship may continue in that use in perpetuity if utilized solely for that purpose even if destroyed by Act of God and reconstructed. All other non-conforming uses and buildings shall be governed by the Sachse Code of Ordinances and applicable State law.

14.4 *The Regulating Plan.*

- A. The Regulating Plan is hereby adopted as the official zoning map for the PGBT Zoning District.
- B. *Character Areas Established.* The following Character Areas are established. The boundaries of specific Character Areas shall be established in the Regulating Plan.
 - 1. *Turnpike Commercial (TC).* Turnpike Commercial creates an area where uses contribute to a concentration of regionally-scaled, commercial that provide employment opportunities in a more dense, walkable and urban context.
 - 2. *Turnpike Mixed-Use (TMU).* Turnpike Mixed-Use creates an area that transitions the activity of the commercial and residential mixed-use to the neighborhoods in a walkable, urban fabric.
 - 3. *Turnpike Transition (TT).* Turnpike Transition creates an area that transitions development to the adjacent residential context in a walkable, neighborhood fabric.
- C. *Street Designations by Street Type Established.* The Regulating Plan shall establish the following Street Designations.
 - 1. *Type A Streets Established.* Type A Streets are intended to be the primary pedestrian streets and provide walkable relationships to the buildings and public spaces along Type A Streets with a pedestrian-oriented design.



Figure 1: Type A Street Examples

2. *Type B Streets Established.* Type B Streets are intended to balance pedestrian orientation with automobile orientation. Buildings along Type B Streets may be permitted to accommodate service and auto-related functions.



Figure 2: Type B Street Example

14.5 *Schedule of Uses.*

- A. Due to the emphasis on urban form over land uses, general use categories have been identified by Character Area. Uses not listed on the following schedule, but are substantially similar, may be permitted upon approval by the City Manager or designee.

TABLE 14.5 SCHEDULE OF USES

	Turnpike Commercial (TC)	Turnpike Mixed-Use (TMU)	Turnpike Transition (TT)
Land Use			
Commercial Uses (Office, Retail, Sales and Service Uses)			
Retail Sales or Service	P	P	NP
Professional Office	P	P	NP
Light industrial, including manufacturing, data centers, research laboratory headquarters, laboratories and associated facilities		P	NP
Heavy Industrial	NP	NP	NP
Food Service Uses (full-service restaurants, cafeterias, bakeries, snack bars, QSRs, cafe seating within a public or private sidewalk area with no obstruction of the pedestrian realm)		P	NP
Brewery	P	P	NP
Any use with a drive through	P/C	P/C	NP
Auto-Related Uses	P/C	P/C	NP
Storage Facilities	P/C	P/C	NP
Arts, Entertainment and Recreation Uses			
Art galleries, antique, furniture or electronics studio (retail, repair or fabrication; excludes auto electronics sales or service)	P	P	NP
Theater, cinema, dance, music or other entertainment establishment	P	P	NP
Museums and other special purpose recreational institutions	P	P	NP
Fitness, recreational sports, gym or athletic club	P	P	NP
Outdoor Entertainment Venue	P	P	NP
Land Use			
Parks, greens, plazas, squares and playgrounds	P	P	P
Educational, Public Administration, Health Care and Other Institutional Uses			
Child Daycare and Preschools	P	P	NP
Schools, Libraries, and Community Halls	P	P	NP
Universities and Colleges	P/C	P/C	NP
Hospital/Medical Office Buildings	P	P	NP
Civic Uses	P	P	NP
Religious Institutions	P	P	NP
Residential Uses			
Single Family Detached - Low Density	NP	NP	NP
Single Family Detached - Medium Density	NP	P/C	P
Garden Style Multifamily Residential	NP	NP	NP

Urban Living Residential	P/C	P/C	NP
Single Family Residential Attached Dwelling Unit (Townhome)	NP	P/C	P/C
Live/Work Unit	P	P	P
Multi-Unit (up to 12 units per structure)	NP	P	NP
Assisted Living Facilities	NP	NP	NP
Other Uses			
Municipal Facilities	P	P	P
Hotels	P	P	NP
Parking, Surface (Primary Use of Property)	P/C	P/C	NP
Parking, Surface (Accessory Use of Property)	P	P	NP
Parking, Structured	P	P	NP
Private Attached Garage	NP	P	P
Private Detached Garage	NP	NP	P
Sales from Kiosks	P	P	NP
Veterinary Clinic	P	P	NP

P = Permitted by Right

NP = Not Permitted

P/C = Permitted with Design Criteria per Table 14.5.1

- B. *Use Criteria.* All uses listed as P/C in Table 14.5.2 shall also meet the following standards.

Use	Zone	Location and Design Criteria
Any Permitted Use with a Drive Through Facility	Turnpike Mixed-Use	- All drive through access (driveways) shall be from Type B Streets unless screened from any Type A Street. - Drive through lanes and/or canopies shall not have frontage along or be located along any Type A Streets. - Alcohol sales expressly excluded. - Drive through areas shall be screened by a four (4) foot high street screen.
Storage Facilities	Turnpike Commercial Turnpike Mixed-Use	Storage uses shall be a minimum of three (3) stories. Shall be 100% indoor access and climate controlled.
Auto-Related Uses	Turnpike Commercial Turnpike Mixed-Use	- Gas Pumps and canopies shall not be located at the corners of the facility's lot. - Car lots are not permitted. - Any buildings associated with the use shall also have a pedestrian entrance at a Type A Street. - Must be setback at least 50 feet with a landscape

		buffer. Auto sales, repairs and storage uses shall be fully contained inside of a building.
Universities and Colleges	Turnpike Commercial Turnpike Mixed-Use	Shall be required to provide structured parking as part of the build-out for the university/college campus.
Urban Living Residential (Upper and Lower Floors)	Turnpike Commercial Turnpike Mixed-Use	• Urban Living Residential shall be either 100% studio/ convertible, one (1) and two (2) bedroom units, residential lofts or flats, or condos. • Two (2) bedroom units shall have similar sized bedrooms, bathrooms and closets. • Site development permits for the Urban Living Residential shall be preceded by or issued at the same time of the issuance of a site development permit for at least the following: • 1 to 300 Units = 15,000 SF Commercial • 301 to 600 Units = 15,000 SF Additional Commercial • No more than 600 units allowed per Urban Living Residential project. • Any unit not fronting a street shall be accessed from a climate- controlled hallway. • Any shared wall, floor or ceiling shall be insulated. • Ground floor units may be retail • Surface parking shall be designed to facilitate a pedestrian- oriented site. • Urban Living Residential and the required commercial component shall have one (1) Type A Street component with both Urban Living Residential and commercial uses constructed as horizontal or vertical mixed-use with pedestrian public spaces totaling at least one-half acre. For horizontal mixed-use, the public spaces shall connect the two (2) uses in a pedestrian-oriented, walkable context. Urban Living Residential shall be at least four (4) stories.

	Turnpike Commercial	Each Urban Living Residential project shall be 70% structured parking.
	Turnpike Mixed-Use	Interior surface parking allowed with substantially four (4) story products or higher. Otherwise structured is required.
Single Family Detached - Medium Density	Turnpike Mixed-Use	• More than 10 and up to 100 contiguous units shall not be built without the initiation of a construction of a commercial component of at least 2,500 square feet, or alternatively at least three (3) pocket parks, greens and/or plazas designed and dispersed within the residential neighborhood totaling no less than one (1) acre. If the pocket space requirement is utilized, the five (5) percent civic/open space requirement in Section 10.2 shall apply. Every additional 100 units of development shall have an additional 2,500 square feet of retail or integrated public green or open space. • Lots shall be a minimum of 30 feet wide and alley-loaded if 50 feet wide or less.
Single Family Residential Attached Dwelling Unit	Turnpike Mixed-Use Turnpike Transition	• More than 10 and up to 100 contiguous units shall not be built without the initiation of a construction of a commercial component of at least 2,500 square feet, or alternatively at least three (3) pocket parks, greens and/or plazas designed and dispersed within the residential neighborhood totaling no less than 1.5 acres. If the pocket space requirement is utilized, the five (5) percent civic/open space requirement in Section 10.2 shall apply. Every additional 100 units of development shall have an additional 2,500 square feet of retail or integrated public green or open space. • Units shall be at least 12 units an acre. • Lots shall be a minimum of 22 feet wide and alley-loaded.

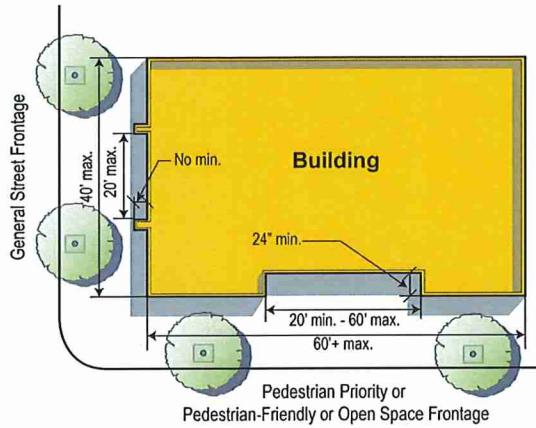
Parking, Surface (Primary Use of Property)	Turnpike Commercial Turnpike Mixed-Use	- Required to be temporary use of property as part of a phasing strategy or appropriately screened and landscaped by incorporating one (1) tree per every 12 spaces planted within parking islands. - To be reviewed by City Manager or designee.
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14.6 *Development Standards.* The following section establishes the Development Standards for all Character Areas within the PGBT Zoning District. Diagrams and reference letters are used for illustrative purposes only. Reference letters may not be in continuous sequence.

A. *Turnpike Connection (TC)*



1. *Building Orientation*



Setback Range

Front (Type A Street and Civic Space)	5 - 20 feet
Front (Type B Street)	20 - 250 feet
Side (from Property Line)	0 feet
Rear (from Property Line)	5 Feet

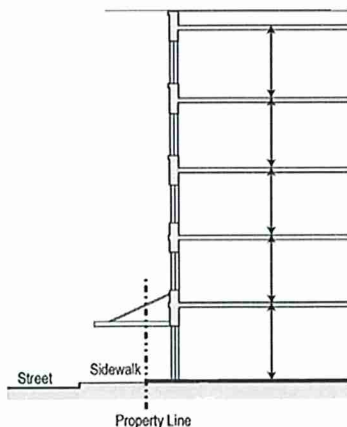
Building Frontage

Building Frontage Required along:	
Type A Street (Civic Space) (Minimum)	70% (minimum)
Building Frontage Required along	
Type B Street	0% (minimum)

2. *Block Standards*

Block Face Dimensions	400 feet maximum
Block Perimeter	1,600 feet maximum

3. *Building Height*



Principal Building Standards

First Floor to Floor Height	12 feet (minimum)
Ground Floor Finish Level ¹	2 inches max. above sidewalk
Upper Floor(s) Height (Floor to Ceiling) Height	10 feet minimum No Maximum; Stepback required after five (5) stories; Maximum five (5) stories within 100 feet of another Character Area or the perimeter of the District.
Stepback Distance	10 feet minimum

4. Commercial Frontage Requirements

Ground floors of all buildings fronting Type A Streets shall be built to retail-ready standards, including first floor-to- floor height, ingress and egress, handicap access, and first floor elevation flush with the sidewalk.

5. Parking and Service Access**Parking Location****Surface/At Grade Parking**

Type A Street and Civic Setback	Shall be located behind principal building; or on the side if no more than one (1) double-loaded bay and screened at the street with masonry or fence no taller than four (4) feet
Type B Setback	N/A
Side Setback (Distance from Property Line)	0 feet minimum

Above Grade Parking

Type A Street, Type B Street and Civic Space Setback	0 feet minimum
Side and Rear Setbacks (Distance from the Property Line)	0 feet minimum
Upper Floors	May be built up to the building line

Required Off-Street Parking Spaces

Non-Residential	1 Space/300 Square Feet (Gross)
Residential	1.5 Spaces/Unit

Driveways and Service Access

Parking Driveway Width	20 Feet Max. (Except when drives need to be wider to address service access or fire lane standards)
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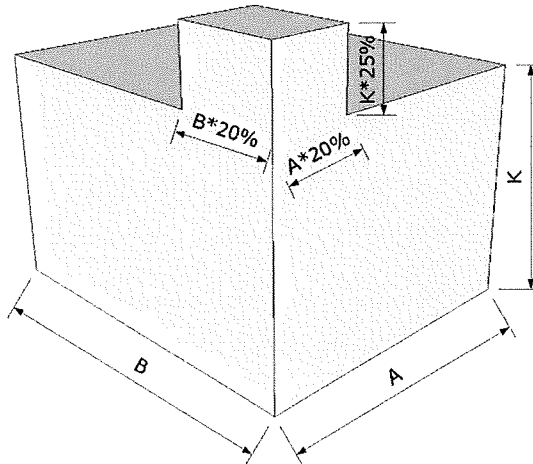
Driveways and off-street loading/unloading shall not be located on Type A Streets. Port cocheres may be permitted on Type A Streets to provide drop-off and valet service. Shared driveways and cross-access easements are encouraged between lots to minimize curb cuts. If driveway and/or

off-street service loading/unloading access is provided from a Type A Street, access shall be temporary and cross-access along the rear of the property shall be required when adjoining properties are undeveloped.

6. *Encroachments.* Canopies, signs, awnings and balconies may encroach over the sidewalk as long as the vertical clearance is a minimum of eight (8) feet. In no case shall an encroachment be located over an on-street parking or travel lane.
7. Development standards in this section shall apply to all development within the Character Area.
8. *Notes.*
 - a. On Type A Streets, the area between the building and the edge of the street at the public sidewalk shall be paved flush with the sidewalk unless a contained private forecourt.
 - b. Side and rear setbacks shall be based on minimum fire separation required between buildings, if applicable.
 - c. Corner building street facades shall be built to the setback for a minimum of 15 feet from the corner along both streets or the width of the corner lot, whichever is less. Recessed entrances are permitted as long as the upper floors meet the setback range standards.
 - d. Blocks exceeding the minimum block face and perimeter dimensions may be permitted as follows:
 - Combined blocks shall be adjacent to one another based on the Regulating Plan and provide pedestrian paseos.
 - An increase in block dimension shall not eliminate or significantly move a required street or required civic/open space. Required streets and required civic/open spaces may move a minimum of 100 feet to accommodate a larger block.
 - The block shall maintain a continuous Type A Street frontage with adjoining blocks.

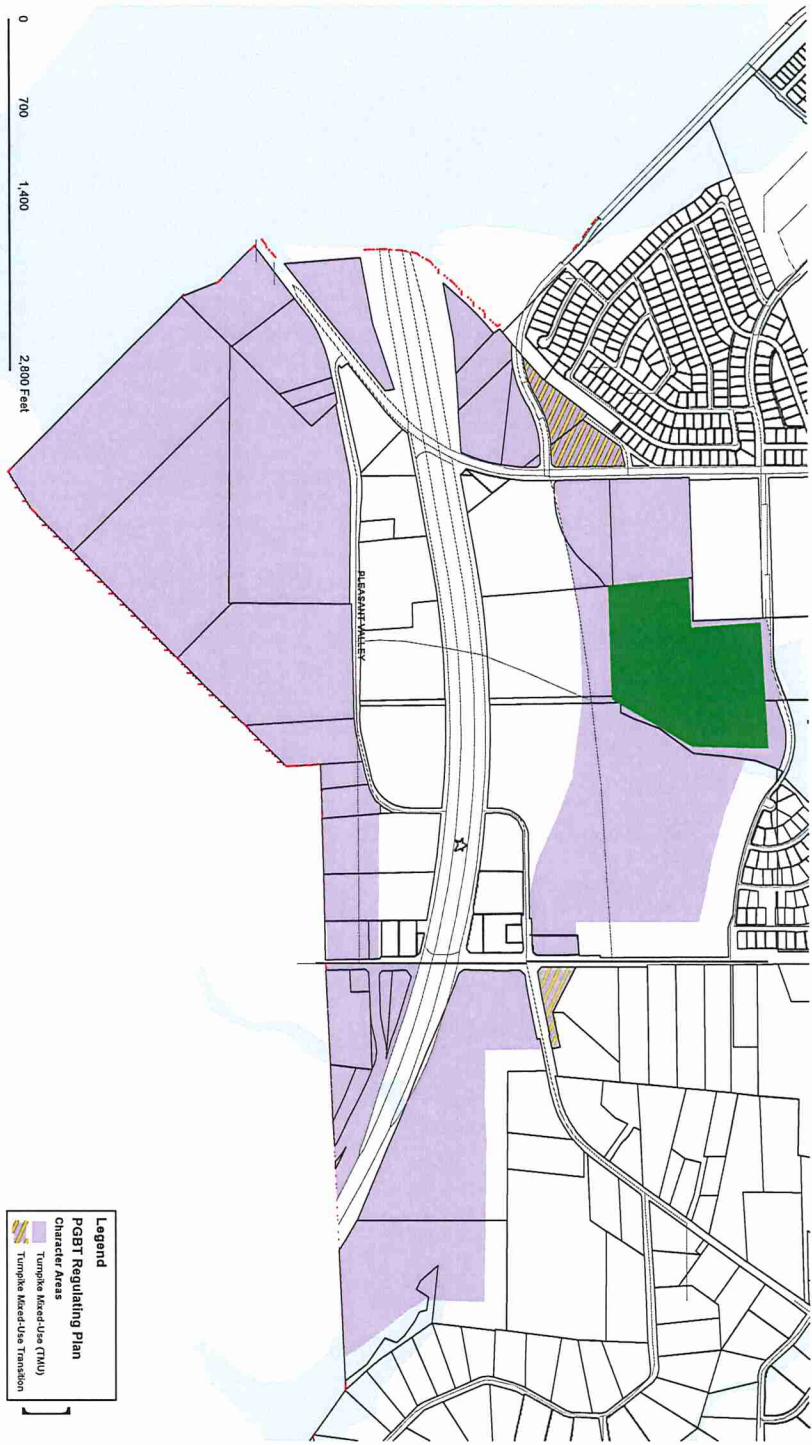
Ground floor internal pedestrian connectivity shall be provided through the block. Connectivity may be provided inside the building, through a parking garage, or outside by way of pedestrian passage.

- e. First floor heights shall not apply to parking structures.
- f. All buildings in the Turnpike Commercial Area shall meet the Architectural and Design Standards in Section 14.7.
- g. Any frontage along all streets (except alleys) not defined by a building within the setback range shall be defined by a four (4) foot high street screen, furthermore service areas shall be defined by a street screen that is at least as high as the equipment being screened. The street screen shall be of either the same building material as the principal structure on the lot or masonry, or a living screen composed of shrubs planted to be opaque at maturity. The required street screen shall be located within the setback range along the corresponding frontage.
- h. Corner buildings may exceed the maximum height by 25% for 20% of the building's frontage along each corresponding street façade.

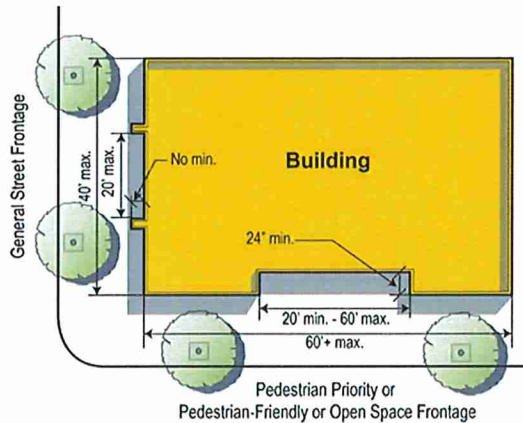


- i. Ground and roof mounted mechanical equipment shall be screened from direct ground level view from adjoining public right-of-way. In addition to a parapet wall no lower than three (3) feet, the perimeter of any visible roof mounted mechanical equipment shall be circumscribed by a wall or permanent screen that is at least as tall as the equipment itself.
- j. Setback ranges on recessed entries and arcade buildings shall be measured from the building facade line.
- k. Required parking may be provided anywhere within the PGBT Area.

Turnpike Mixed Use



1. *Building Orientation*



Setback Range

Front (Type A Street and Civic Space)
 Front (Type B Street)
 Side (from Property Line)
 Rear (from Property Line)

5 - 15 feet
 0 - 75 feet
 0 feet
 0 feet

Building Frontage

Building Frontage required along Type A Street/Civic Space
 Building Frontage required along Type B Street

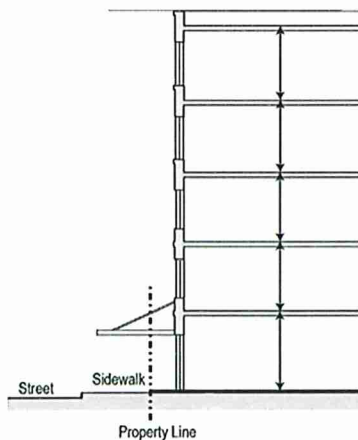
50% (minimum)
 0% (minimum)

2. *Block Standards*

Block Face Dimensions
 Block Perimeter

400 feet (maximum)
 1,200 feet (maximum)

3. *Building Height*



Principal Building Standards

First Floor-to-Floor Height	12 feet (minimum)
Ground Floor Finish Level	12 inches maximum above sidewalk
Upper Floor(s) Height (Floor to Ceiling) Height	10 Feet (minimum); Maximum five (5) stories; Maximum three (3) stories within 50 feet of the Turnpike Transition Area or District perimeter or in area identified as Turnpike Mixed-Use Transition on the Regulating Plan and shall be screened from adjacent single family residential.

4. *Commercial Frontage Requirements.* Ground floors of all buildings fronting Type A Streets shall be built to retail ready standards, including first floor-to-floor height, ingress/egress, handicap access, and first floor elevation flush with the sidewalk.
5. *Parking and Service Access.*

Parking Location

Surface/At Grade Parking

Type A Street and Civic Space Setback	Shall be located behind the principal building; or on the side if no more than one (1) double-loaded bay and screened at the street with masonry or fence no taller than four (4) feet.
Type B Setback	N/A
Side Setback (from Property Line)	0 feet (minimum)
Rear Setback (from Property Line)	0 feet (minimum)

Above and Below Grade Parking

Setback along Type A Street, Type B Street and Civic Space	0 feet (minimum)
Side and Rear Setbacks	0 feet (minimum)
Upper Floors	May be built up to the building line

Driveways and Service Access

Parking Driveway Width	24 feet maximum (except when drives need to be wider to address service access or fire lane standards)
------------------------	--

Driveways and off-street loading/unloading shall not be located on Type A Streets. Port cocheres may be permitted on Type A Streets to provide drop-off and valet service. Shared driveways and cross-access easements are encouraged between lots to minimize curb cuts. If driveway and/or off-street service loading/unloading access is provided from a Type A Street, access shall be

deemed temporary and cross-access along the rear of the property shall be required when adjoining properties are undeveloped.

6. *Encroachments.* Canopies, signs, awnings, and balconies may encroach over the sidewalk as long as the vertical clearance is a minimum of eight (8) feet. In no case shall an encroachment be located over an on-street parking or travel lane.

7. *Applicability.* Development standards in this section shall apply to all development standards in this Character Area.

8. *Notes.*

a. On Type A Streets, the area between the building and the edge of the property line at the public sidewalk shall be paved flush with the sidewalk unless it contains a private forecourt.

b. Side and rear setbacks shall be based on the minimum fire separation required between buildings, if applicable.

c. On Type A Streets, corner building street facades shall be built to the setback range for a minimum of 15 feet from the corner along both streets or the width of the corner lot, whichever is less. Recessed entrances are permitted as long as the upper floors meet the development standards.

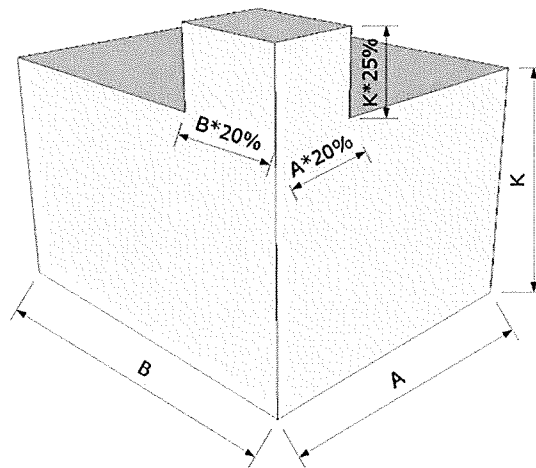
d. Blocks exceeding the maximum block face and perimeter dimensions may be permitted as follows:

- Combined blocks shall be adjacent to one another based on the Regulating Plan.
- An increase in block dimensions shall not eliminate or significantly move a required street or required civic/open space. Required streets and required civic/open spaces may move a maximum of 100 feet.
- The block shall maintain a continuous Type A Street frontage with adjoining blocks.

Ground floor internal pedestrian connectivity shall be provided through the block. Connectivity may be provided inside the building, through a parking garage, or outside by way of pedestrian passage

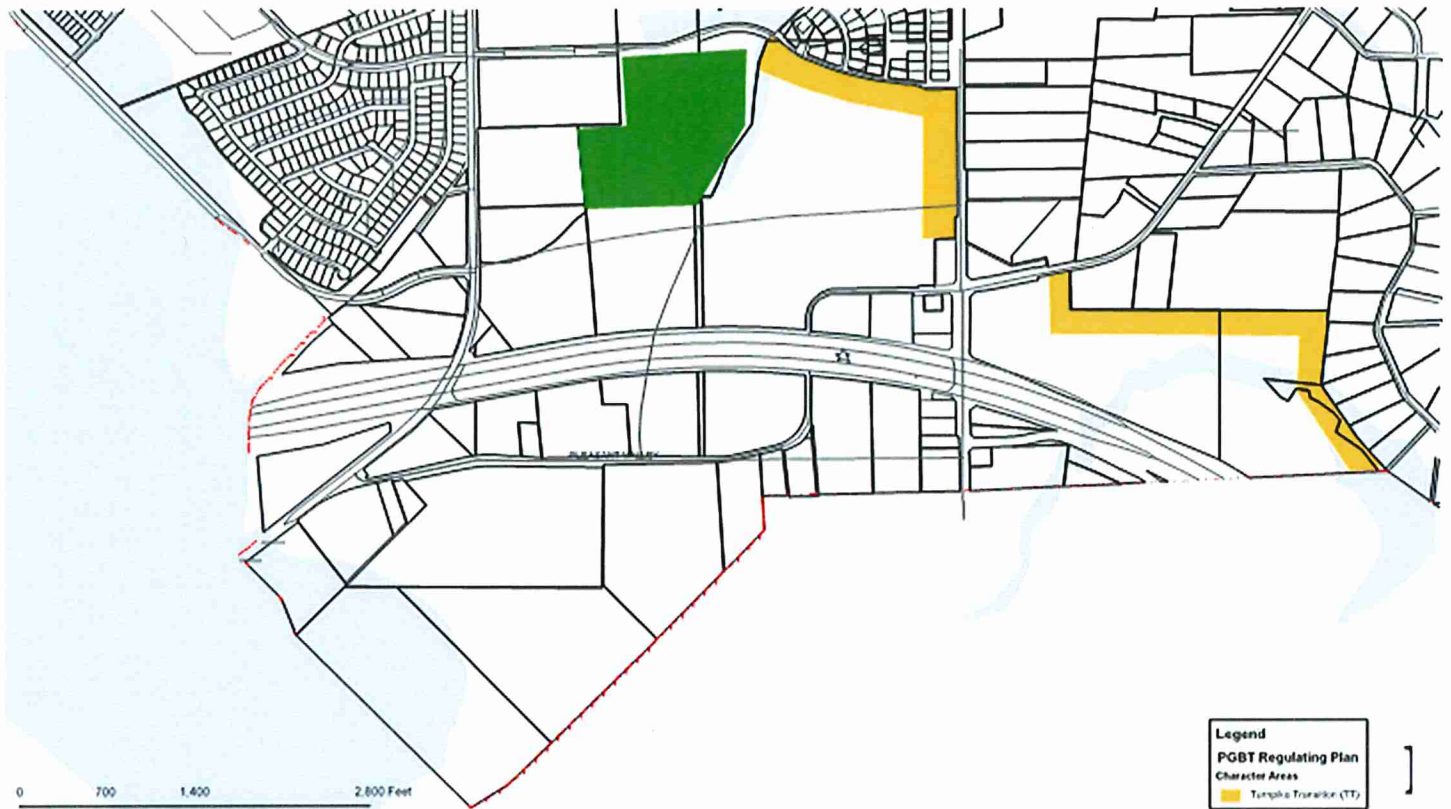
e. First floor heights shall not apply to parking structures.

- f. All buildings in the Turnpike Mixed-Use Area shall meet the Architectural and Design Standards in Section 14.7.
- g. Any frontage along all streets (except alleys) not defined by a building shall be defined by a four (4) foot high street screen, furthermore, service areas shall be defined by a street screen that is at least as high as the service equipment being screened. The street screen shall be of either the same building material as the principal structure on the lot or masonry of a living screen composed of shrubs to be opaque at maturity. The required street screen shall be located within the setback range along the corresponding frontage.
- h. Corner buildings may exceed the maximum building height by 25% for 20% of the building's frontage along each corresponding street façade.

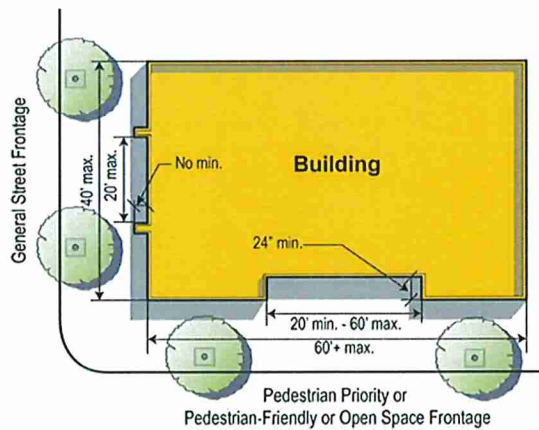


- i. Ground and roof mounted mechanical equipment shall be screened from direct ground level view from adjoining public rights-of-way. In addition to a parapet wall no lower than three (3) feet, the perimeter of any visible roof mounted mechanical equipment shall be circumscribed by a wall or permanent screen that is at least as tall as the equipment itself.
- j. Setback ranges on recessed entries and arcade buildings shall be measured from the building facade line.
- k. Required parking may be provided anywhere within the PGBT Area or through shared parking agreements.

B. Turnpike Transition (TT)



1. Applicability.



Setback Range

Front (Type A Street and Civic Space)
Front (Type B Street)
Side (from Property Line)
Rear (from Property Line)

5 - 15 feet
0 - 50 feet
5 feet
0 feet

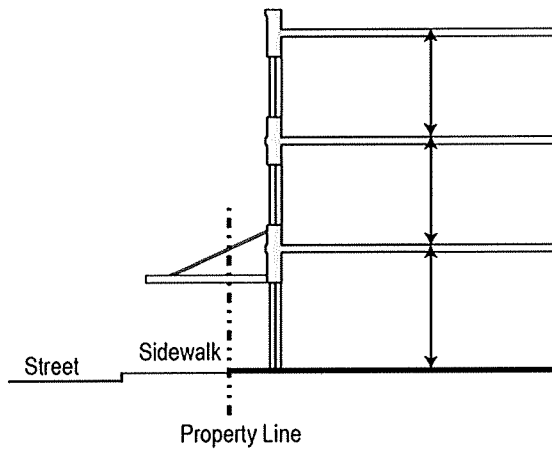
Building Frontage

Building Frontage required along Type A Street/Civic Space	50% (minimum)
Building Frontage required along Type B Street	0% (minimum)

2. Block Standards

Block Face Dimensions	400 feet
Block Perimeter	1, 200 feet

3. Building Height



Principal Standards

Building Maximum	40 feet except non-habitable architectural features
First Floor-to-Floor Height	12 feet (minimum)
Ground Floor Finish Level	12 inches above the sidewalk
Upper Floor(s) Height Wall-to-Ceiling	10 feet (minimum)

4. Parking and Service Access

Parking Location

Surface/At Grade Parking

Type A Street and Civic Space Setback	Shall be located behind the principal building; or on the side if no more than one (1) double-loaded bay and screened at the street with masonry or fence no taller than four (4) feet.
Type B Setback	Minimum of 3 feet behind the setback
Side Setback (from Property Line)	0 feet (minimum)
Rear Setback (from Property Line)	0 feet (minimum)

Above and Below Grade Parking

Setback along Type A Street, Type B

Street and Civic Space

0 feet (minimum)

Side and Rear Setbacks

0 feet (minimum)

Upper Floors

May be built up to the building line

Required Off-Street Parking Space

Non-Residential Uses

1 Space/300 SF (Gross)

Residential Uses

1.5 Space/Unit

Driveways and Service Access

Parking Driveway Width

24 feet maximum (except when drives need to be wider to address service access or fire lane standards)

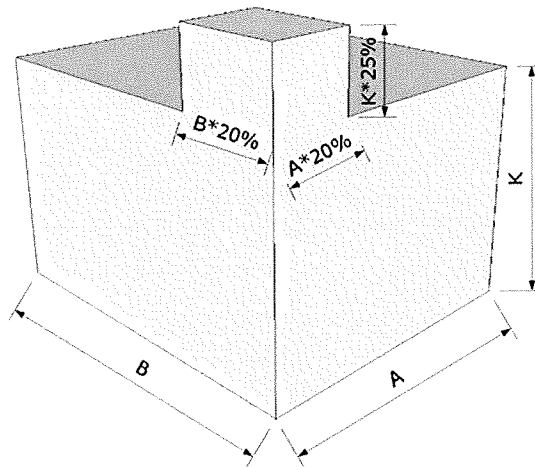
Driveways and off-street loading/unloading shall not be located on Type A Streets. Port cocheres may be permitted on Type A Streets to provide drop-off and valet service. Shared driveways and cross-access easements are encouraged between lots to minimize curb cuts. If driveway and/or off-street service loading/unloading access is provided from a Type A Street, access shall be deemed temporary and cross-access along the rear of the property shall be required when adjoining properties are undeveloped.

5. *Encroachments.* Canopies, signs, awnings, and balconies may encroach over the sidewalk as long as the vertical clearance is a minimum of eight (8) feet. In no case shall an encroachment be located over an on-street parking or travel lane.
6. *Applicability.* Development standards in this section shall apply to all development standards in this Character Area.
7. *Notes.*
 - a. On Type A Streets, the area between the building and the edge of the property line at the public sidewalk shall be paved flush with the sidewalk unless it contains a private forecourt.
 - b. Side and rear setbacks shall be based on the minimum fire separation required between buildings, if applicable.
 - c. On Type A Streets, corner building street facades shall be built to the setback range for a minimum of 15 feet from the corner along both streets or the width of the corner lot, whichever is less. Recessed entrances are permitted as long as the upper floors meet the development standards.

- d. Blocks exceeding the maximum block face and perimeter dimensions may be permitted as follows:
- Combined blocks shall be adjacent to one another based on the Regulating Plan.
 - An increase in block dimensions shall not eliminate or significantly move a required street or required civic/open space. Required streets and required civic/open space. Required streets and required civic/open spaces may move a maximum of 100 feet.
 - The block shall maintain a continuous Type A Street frontage with adjoining blocks.

Ground floor internal pedestrian connectivity shall be provided through the block. Connectivity may be provided inside the building, through a parking garage, or outside by way of pedestrian passage

- e. First floor heights shall not apply to parking structures.
- f. All buildings in the Turnpike Transition Area shall meet the Architectural and Design Standards in Section 7.
- g. Any frontage along all streets (except alleys) not defined by a building shall be defined by a four (4) foot high street screen, furthermore service areas shall be defined by a street screen that is at least as high as the the service equipment being screened. The street screen shall be of either the same building material as the principal structure on the lot or masonry of a living screen composed of shrubs to be opaque at maturity. The required street screen shall be located within the setback range along the corresponding frontage.
- h. Corner buildings may exceed the maximum building height by 25% for 20% of the building's frontage along each corresponding street façade.



- i. Ground and roof mounted mechanical equipment shall be screened from direct ground level view from adjoining public rights-of-way. In addition to a parapet wall no lower than three (3) feet, the perimeter of any visible roof mounted mechanical equipment shall be circumscribed by a wall or permanent screen that is at least as tall as the equipment itself.
- j. Setback ranges on recessed entries and arcade buildings shall be measured from the building facade line.
- k. Required parking may be provided anywhere within the PGBT Area or through shared parking agreements.
- l. Minimum floor-to-ceiling height (to the first obstruction at the ceiling level) for upper floors shall apply only to a majority of upper floors (over 50%).

14.7 *Architectural Standards and Design Guidelines.*

- A. The Architectural Standards and Design Guidelines for the PGBT Area shall establish a coherent urban character and encourage enduring, attractive and sustainable development. Development plans shall be reviewed by the City Manager or designee for compliance with the standards below.
- B. The key design principles establish essential goals for development in the PGBT Area to ensure the preservation, sustainability and visual quality of this unique environment. Buildings shall be located and designed so that they provide visual interest and create enjoyable, human-scaled spaces. The key design principles are:

1. New buildings shall utilize building elements and details to achieve a pedestrian-oriented public realm with transitions into human-scale private places, with connectivity to adjacent neighborhoods;
2. Compatibility is not meant to be achieved through uniformity, but through the use of variations in building elements to achieve individual building identity;
3. Building facades shall include appropriate architectural details and ornament to create variety and interest; and
4. Open space(s) shall be incorporated to provide public areas integral to the urban environment.

C. *General to All Character Areas*

1. Building Orientation
 - a. Buildings shall be oriented towards Type A Streets where the lot has frontage along Type A Streets. When no other Type A Street frontage is available, all other buildings shall be oriented towards Type B Streets or Civic/Open Spaces.
 - b. The primary entrance to buildings shall be located on the street along which the building is oriented. At intersections, corner buildings may have their primary entrances oriented at an angle to the intersection.
 - c. All primary entrances shall be oriented to the public sidewalk or within a forecourt adjacent to a public sidewalk for ease of pedestrian access. Secondary and service entrances may be located from internal parking areas or alleys.

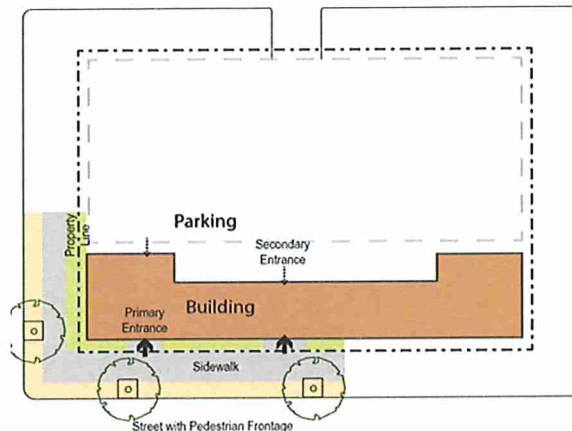


Figure 14.7.1: Building Orientation and Primary Entrance Example

D. Design of Parking Structures

1. All frontages of parking structures located on Type A Streets shall not have parking uses on the ground floor to a minimum depth of 30 feet along the Type A Street unless screened with a similar architectural façade that matches the primary façade design and materials of the building.
2. The amount of Type A Street Frontage The amount of Type A Street frontage devoted to a parking structure shall be minimized by placing the shortest dimension(s) along the Type A Street edge(s) if feasible.
3. Parking structure facades on Parking structure facades on all Type A Streets shall be designed with both vertical and horizontal articulation.
4. Where above ground structured parking is located at the perimeter o a building with frontage along a Type A Street, it shall be screened in such a way that cars on all parking levels are screened from view of the Type A streets. Architectural screens shall be used to articulate the façade, hide vehicles and shield lighting.
5. Parking structures and adjacent sidewalks shall be designed so pedestrians are clearly visible to entering and exiting automobiles.



Figure 14.7.2 Parking Garage Design Examples



E. *Driveways, Alleys and Service Access*

1. Unless otherwise specified in the Character Area standards, driveways and off-street loading and unloading may be located with access along Type A streets only if the property has no access to either an alley, Type B Street or joint use easement to an adjoining property with direct driveway access to any other street; except porte cocheres entrances shall be allowed for hospitality and entertainment uses with design along the frontage to ensure pedestrian safety and walkability.
2. Along Type A Streets, driveway spacing shall be limited to two (2) driveways per each block face or per 200 feet of block face for blocks greater than 400 feet in length, unless approved by the City Manager or his or her designee when pedestrian design is used to mitigate the additional driveway crossings.
3. Shared driveways, joint use easements or joint access easements shall be required for adjoining properties when driveway and service access is off a Type A Street.

4. Service and loading/unloading areas shall be screened per standards in Section 14.7(H).
5. Unless required to meet minimum fire access or service access standards all commercial and mixed-use driveways/alleys shall be a minimum of 20 feet in width. Service driveways/alleys shall be a maximum of 32 feet in width garage to garage. Driveways wider than 24 feet in width shall only be located off Type B streets. Driveways/alleys along TxDOT roadways shall meet state standards or the City's adopted ordinances.

F. *Design of Automobile Related Building Site Elements*

1. Drive-through lanes for commercial uses shall not be located on any Type A Street. Drive-through lanes shall be hidden behind a street screen along any Type B Street frontage.
2. All off-street loading, unloading and trash pick-up areas shall be located along alleys or Type B Streets only unless permitted in the specific building form and development standards in Section 6. Any off-street loading, unloading or trash pick-up areas shall be screened using a street screen that is at least as tall as the trash containers and/or service equipment it is screening. The street screen shall be made up of (i) the same material as the principal building or (ii) a living screen or (iii) a combination of the two.

G. *Mechanical and Service Screening*

1. All buildings shall be designed such that no mechanical equipment (HVAC, etc.) except vents or stacks is visible from the public right-of-way or open space, whether the equipment is located on the ground, exterior walls or roof.
2. The screening material uses shall be the same as the primary exterior building material used and raised at least one (1) foot above the top of the mechanical equipment per City standards.

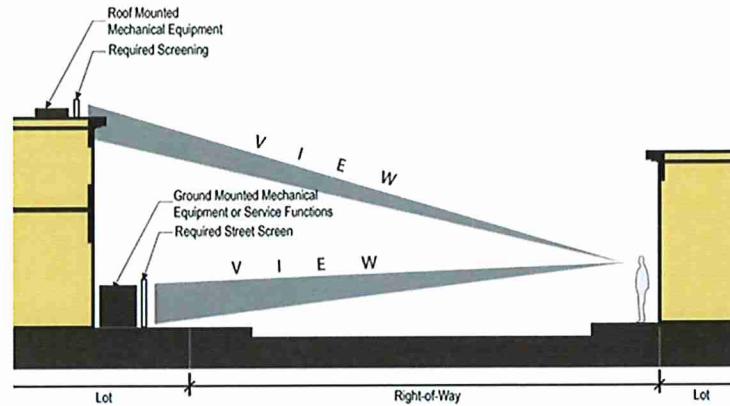


Figure 14.7.3: Mechanical Equipment Screening

H. *Façade Composition*

1. Buildings shall maintain a façade rhythm of 20 feet to 30 feet along all Type A Streets.
2. This rhythm may be expressed by changing materials, or color, or by using design elements such as fenestration, columns and pilasters, integrated colors, or by varying the setback of portions of the façade.
3. Storefronts on facades that span multiple tenants shall use architecturally compatible materials, colors, details, awnings, signage and lighting fixtures.
4. Building entrances may be defined and articulated by architectural elements such as lintels, pediments pilasters, columns, porticos, overhangs, railings, balustrades and others, as appropriate. All building elements shall be compatible with the architectural style, materials, colors and details of the building as a whole. Entrances to upper level uses may be defined and integrated into the design.
5. Corner emphasizing architectural features, pigmented gabled parapets, cornices, awnings, blade signs, arcades, colonnades and balconies may be used along commercial storefronts to add pedestrian interest.

I. *Windows and Doors*

1. Windows and doors on street (except alleys) fronting facades shall be designed to be proportional and appropriate to the specific architectural style of the building. First floor windows shall not be opaque, tinted or mirrored glass.

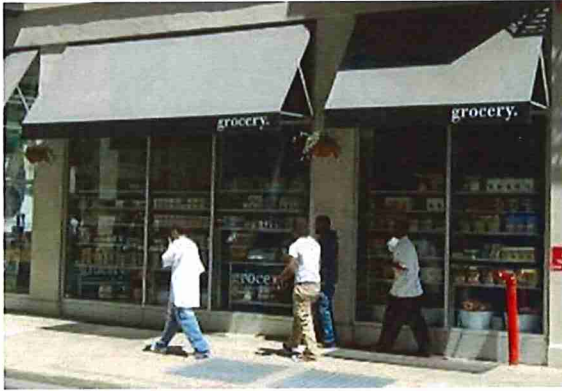


Figure 14.7.4: Storefront Window Transparency

2. All ground floor front facades along Type A Streets or Civic/Open Spaces shall have transparent storefront windows covering no less than 50% of the façade area on the first two (2) floors. Each upper floor above the second floor of the same building facades facing a Type A Street or Civic/ Open Space shall contain windows covering at least 25% of the façade area. All other street facing facades (except alleys) shall have windows covering at least 15% of the façade area for all floors.
- J. *Commercial and Mixed Used Building Materials*
- A. At least 80% of each building's façade (excluding doors and windows) along all Type A Streets shall be finished in one of the following materials:
 - Masonry (brick, stone, stucco utilizing a three-step process, cast stone, rock, marble, granite, or curtain glass).
 - B. No more than 20% of each façade along all Type A Streets shall use accent materials such as wood, architect metal panel, split-face concrete block tile or pre-cast concrete panels.
 - C. A minimum of 80% of all other building facades with the exception of Type A Street facades shall use accent materials such as wood, architect metal panel, split face concrete block, tile or pre- cast concrete panels.
- K. *Building Orientation.* Buildings located along Merritt Road and Hudson Road must face the street edge; a transition between the residential in the SE Quadrant and the uses in the Turnpike Commercial and Turnpike Mixed-Use.

14.8 *Street and Streetscape Design Standards*

- A. *Generally.* Streets in the PGBT Area shall support the overall goal of a mixed-use, compact, pedestrian-oriented district. Streets should balance all forms of mobility while maximizing convenience for residents and visitors.

The Regulating Plan designates Mandatory Streets and the street network to be made up of additional Local Streets to be proposed by the applicant(s) within the PGBT Area. This section specifies the typical configuration of streets. The specifications address vehicular lane width, ROW widths, number of travel lanes, on-street parking and pedestrian accommodation. The character of streets within the PGBT Area will vary based on the location.

- B. *New Streets.* New streets shall be based on the Type A or Type B Street Type designation on the Regulating Plan. Development Plans shall propose a complete street network to achieve connectivity as envisioned in the Comprehensive Plan.

1. New streets must terminate at other streets or pedestrian-ways/trails; and connectivity of Type A streets shall extend for at least two (2) blocks down a street or turning a corner.
2. Each phase of development of at least 20 acres or more shall have at least two (2) blocks of Type A frontage. Type A frontages shall be connected to other Type A frontages where feasible.
3. Cul de sacs shall be utilized only for unique environmental conditions.
4. The street network shall complement the trail network and vice versa.
5. Street types shall be utilized to create a hierarchy of multimodal travel patterns within the PGBT Area.

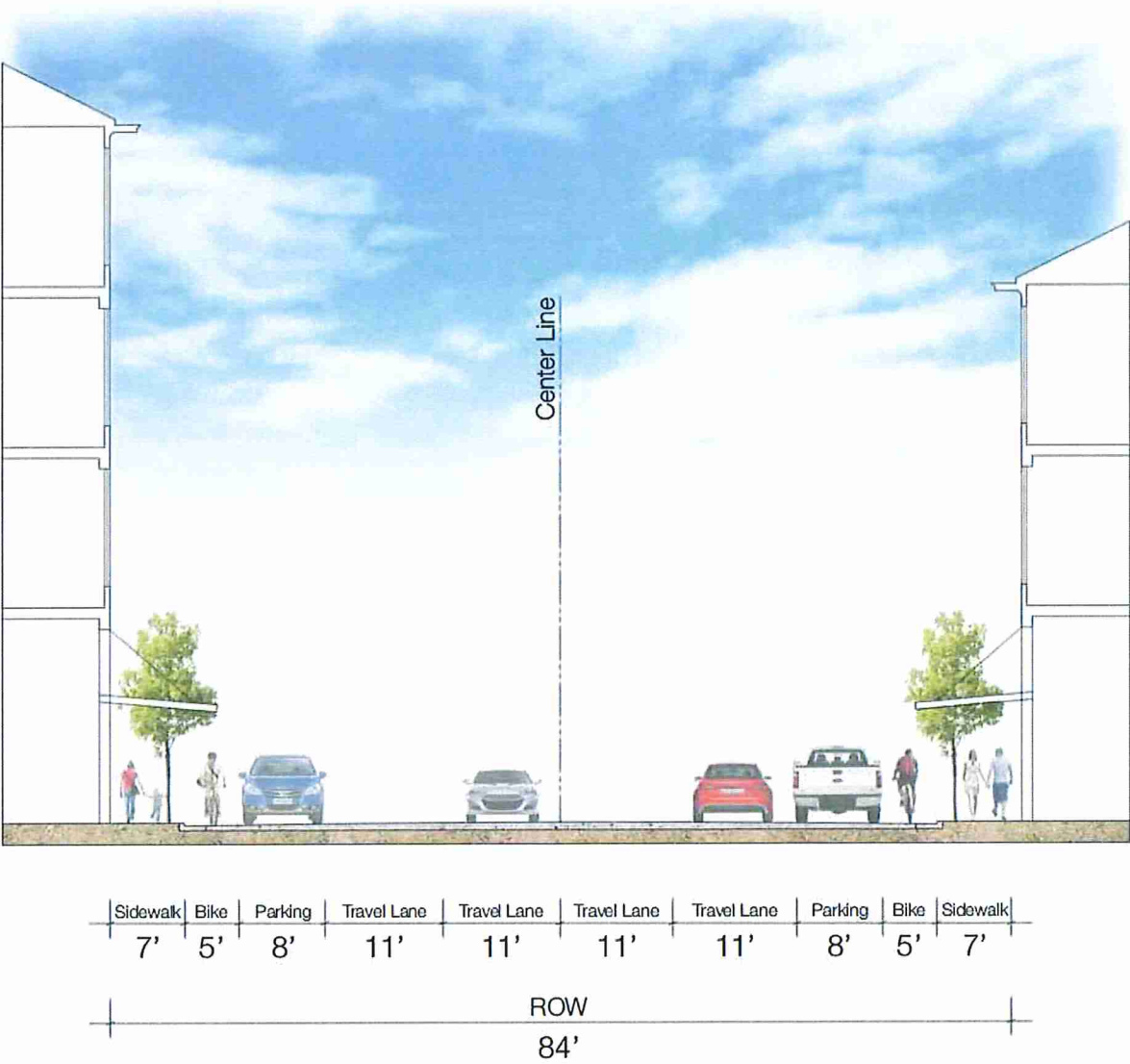
- C. *Street Classification Established.* Table 14.8.1 and associated cross sections shall establish the cross sections for each street type. The cross sections may be adjusted to fit existing contexts with the approval of the City Manager or designee. In addition, the proposed cross sections may be adjusted to meet the needs of the Uniform Fire Code as adopted by the City.

- D. *Street Cross Sections*

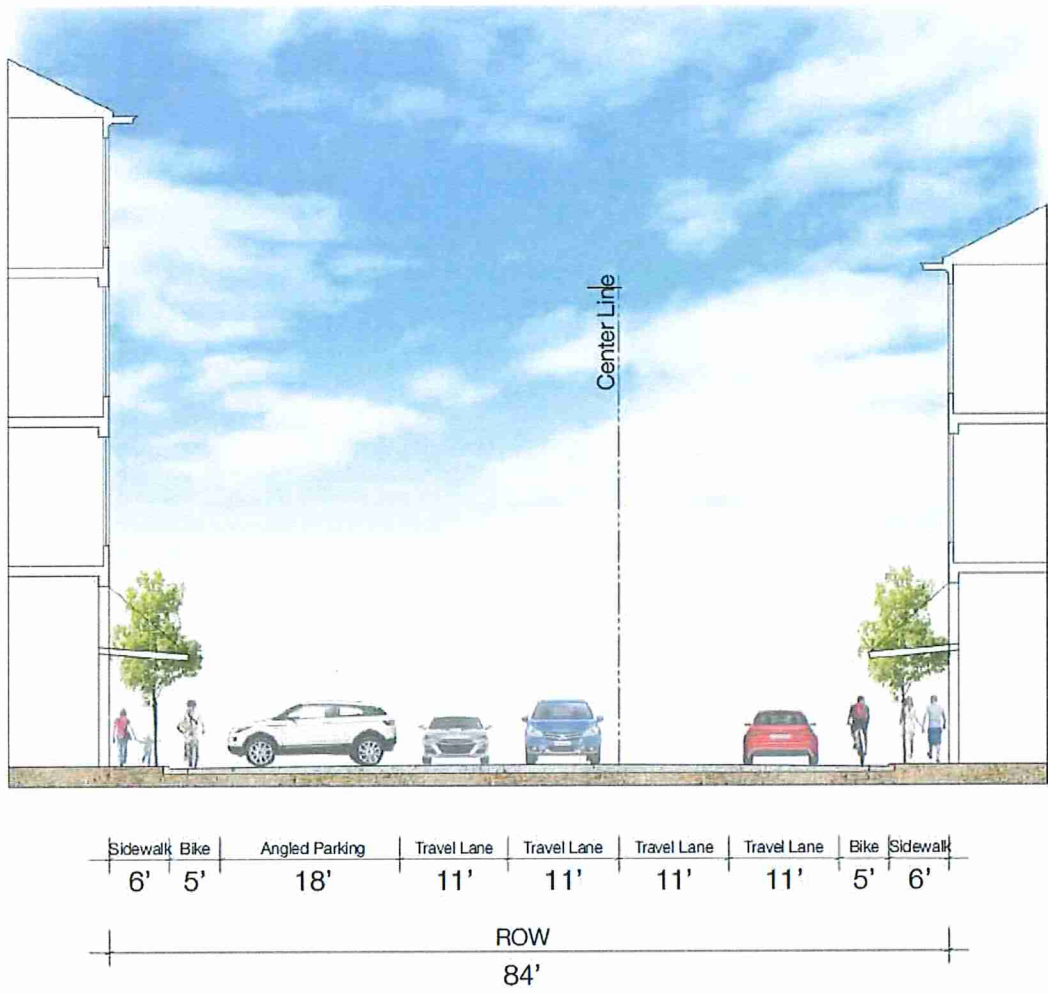
TABLE 14.8.1 STREET CLASSIFICATIONS

Street Type	ROW (Recommended Min.)		Number of Lanes	Number of Bike Lanes	Vehicle Lane Widths	Bike Lane Width	On-Street Parking	Parkway / Tree Well
	Paved Area	Ped. Realm						
A	72 FT (Angled or Parallel)	12 FT	4	2	11 FT	5 FT	Yes	5 x 5 FT (Min.)
B	42 FT	12 FT	2	N/A	12 FT	N/A	Yes, Parallel	5 x 5 FT (Min.)
General	40 FT	12 FT	2	N/A	11 FT	N/A	Yes, Parallel	5 x 5 FT (Min.)
Alley	32 FT (Garage to Garage)	None	N/A	None	N/A	N/A	None	None

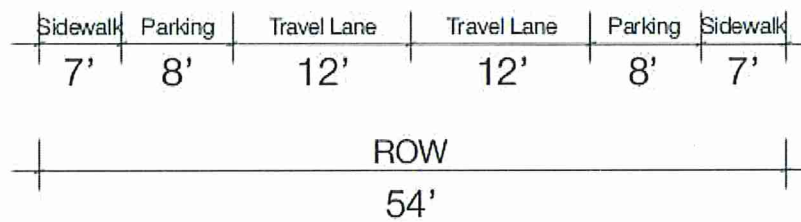
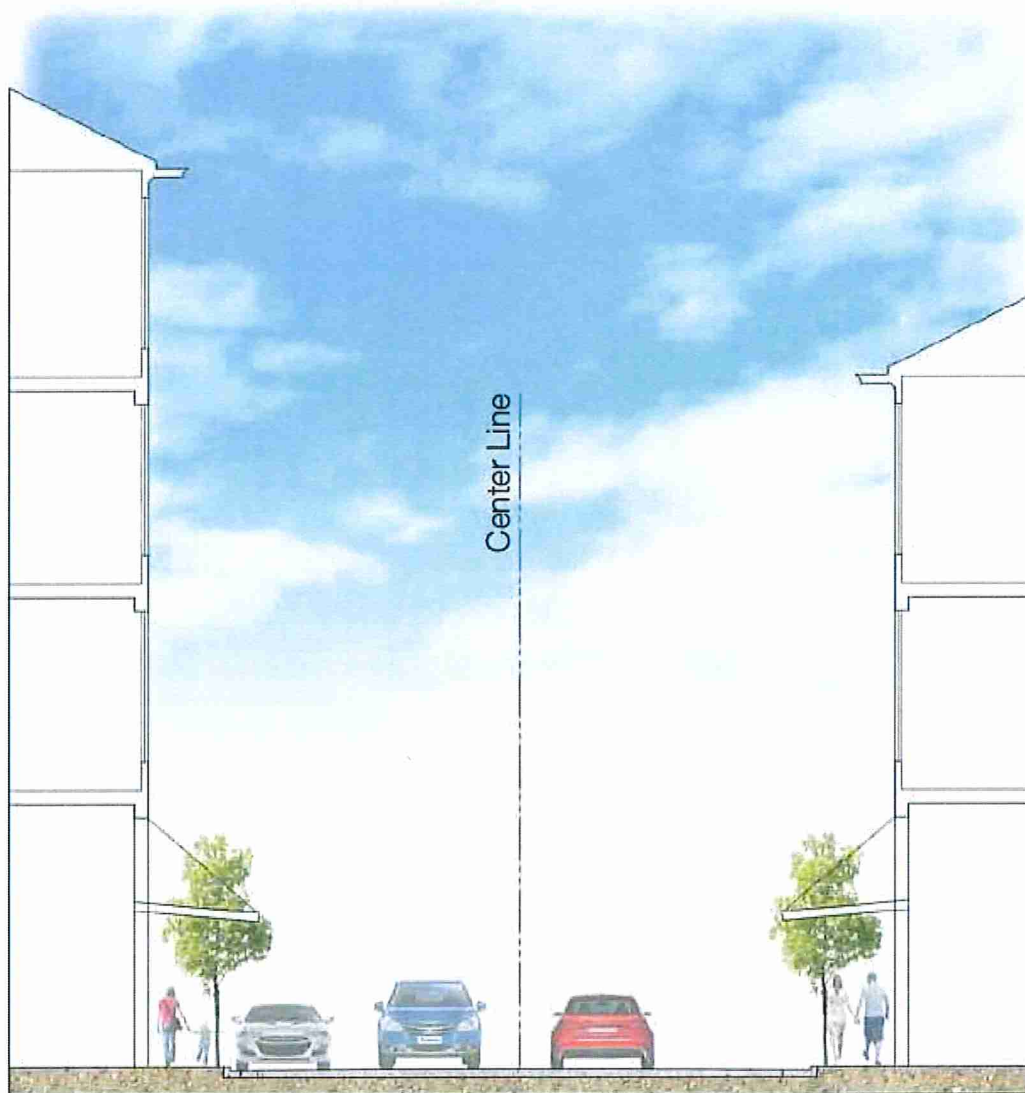
TYPE A STREET - PARALLEL PARKING



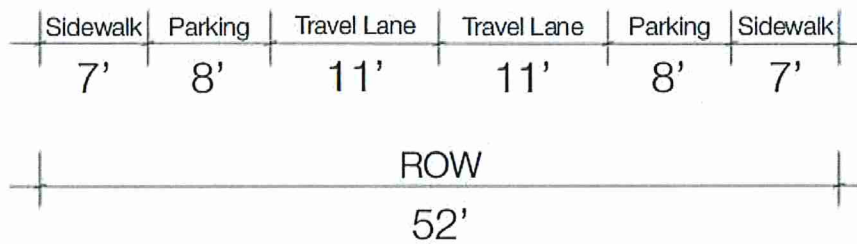
TYPE A STREET – ANGLED PARKING



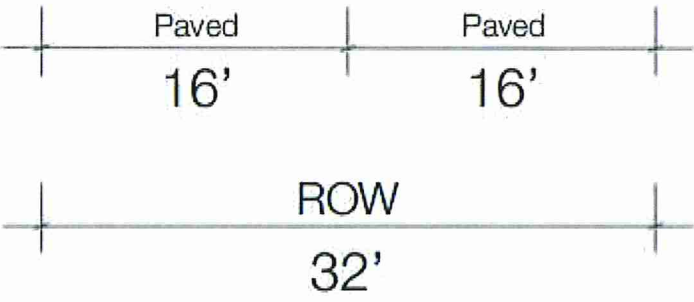
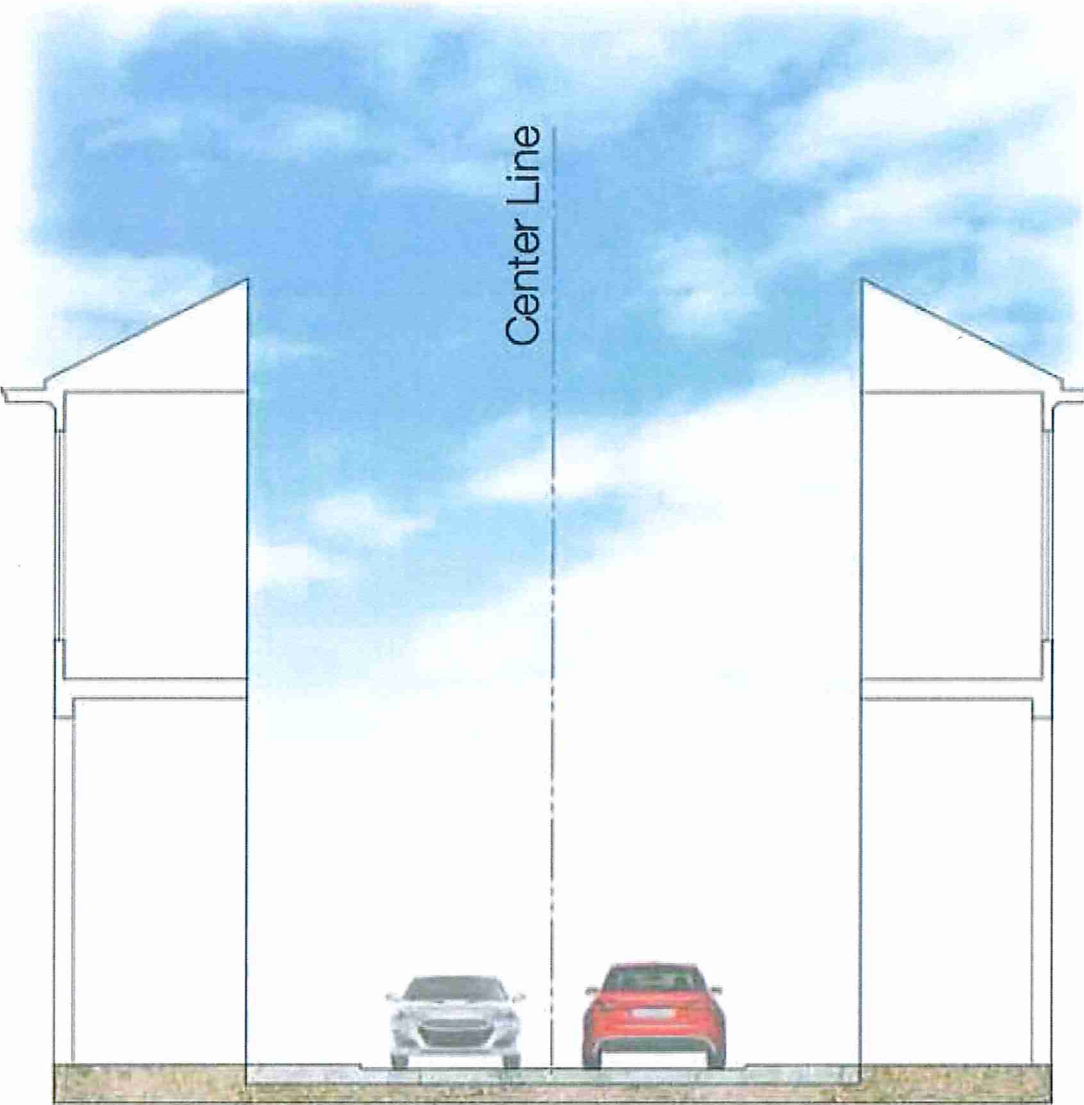
TYPE B STREET



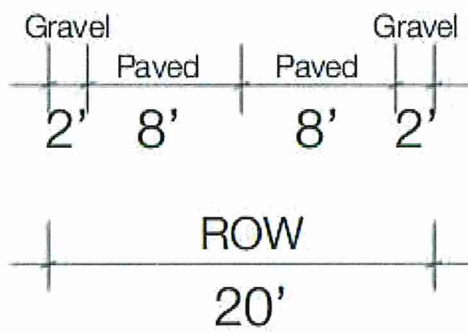
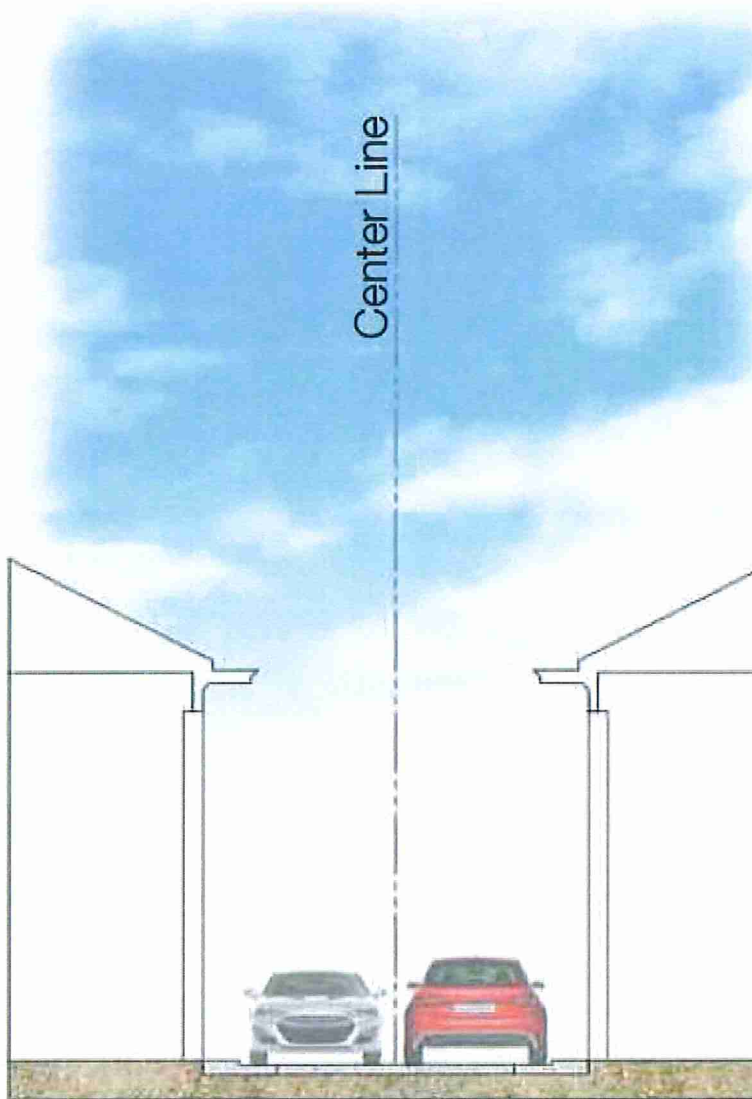
GENERAL STREET



COMMERCIAL ALLEY



RESIDENTIAL ALLEY



E. *Streetscape and Landscape Standards.* Streetscape standards shall apply to all streets within the PGBT Area. Streetscape standards shall address all elements between the building face and the edge of the curb. Typical streetscape elements addressed are street trees, lighting, street furniture and pedestrian amenities and materials. All dedicated public ROW and landscaping within the ROW shall be maintained by the City of Sachse.

1. All streetscape elements and site amenities, such as bike racks, trash receptacles, lamp posts, benches, bollards, patio furniture, and tree grates, shall be decorative metal, rust and flake/chip resistant, and generally be black (“storm cloud”) in color. Bollards can be concrete or cast metal and shall be decorative design with no bold colors or sleeves.

F. *Street Trees and Landscaping (within the Pedestrian Easement)*

1. Street trees shall be required on all PGBT Area streets (except on alleys and the PGBT access/ frontage road).
2. Street trees shall be planted per best practices and based on urban tree species (see Table 14.8.2), and consistent with a pedestrian zone along the street.
3. Spacing shall be an average of 30 feet on center (measured per block face) along all streets except alleys.
4. The minimum caliper size for each tree shall be three (3) inches and shall be a minimum of 12 feet in height at planting. Each tree shall be planted in a planting area no less than 36 square feet. However, the tree well area may be no smaller than 25 feet.
5. All living landscape shall be maintained in a healthy and growing manner, replaced when diseased or dead, and receive irrigation.

TABLE 14.8.2 URBAN TREE SPECIES LIST

Allee (Lacebark) Elm		Chinese Pistache	
Ginkgo		Lacey Oak	
Pond Cypress		Shantung Maple	
Teddy Bear Magnolia		Urbanite Ash	

G. *Street Furniture, Lighting and Materials*

1. Pedestrian-scale lighting shall be required along all PGBT Area streets (except on alleys and PGBT/ SH 190 access roads. They shall be no taller than 20 feet.
2. Street lights shall be placed on average 40 feet on center, approximately three (3) feet behind the curb line unless another placement facilitates a pedestrian zone along the street.
3. The light standard selected shall be compatible with the design of the street and the design of the buildings.
4. Trash receptacles and bike racks shall be required along all Type A Streets. A minimum of one (1) per each block face shall be required.
5. Street furniture and pedestrian amenities such as benches are recommended along all Type A Streets.
6. All street furniture shall be located in such a manner as to allow a clear sidewalk passageway of a minimum of six (6) feet.
7. Materials selected for paving and street furniture shall be of durable quality and require minimal maintenance; pavers are discouraged in neighborhood retail/entertainment centers as a primary surface in order to facilitate walkability.

H. *Commercial Frontages*

1. Where a commercial frontage is at the ground floor level adjacent to a street, paved hardscape within the setback range shall be flush with the sidewalk up to the front door at a minimum and match the material of the sidewalk adjacent.
2. Where there is residential frontage, landscaping is permitted within the setback

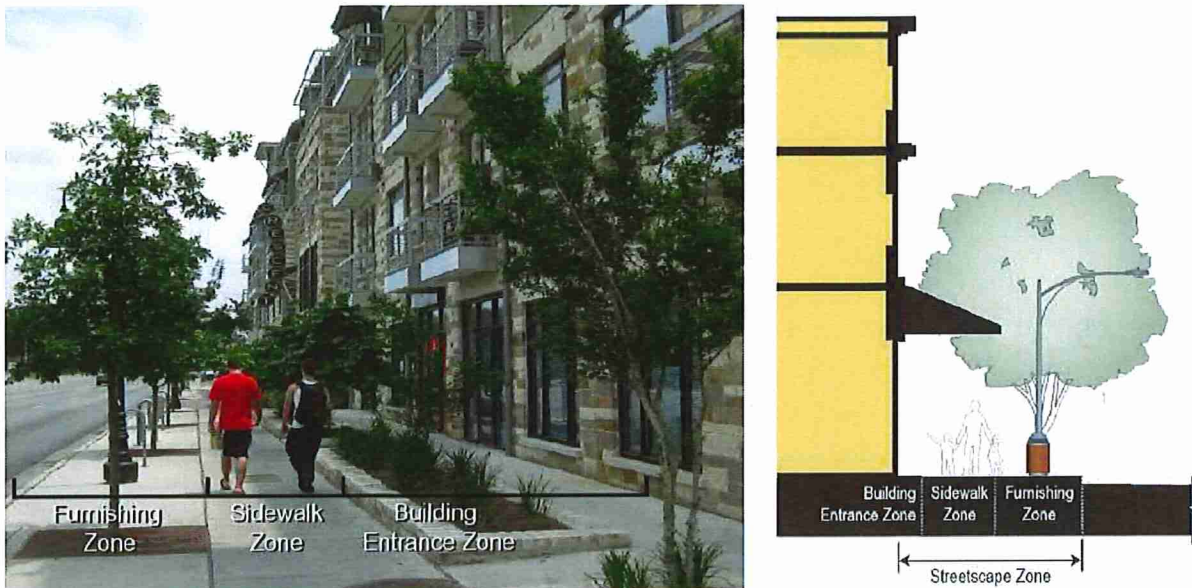


Figure 14.8.1: Streetscape Zone

14.9 *Signage.* Except as specifically listed below, all other signage and sign standards must comply with the City of Sachse's Code of Ordinances.

- A. Signage in the PGBT Area shall generally be limited to monument signs, multi-tenant monument signs, wall signs, and other incidental signage.
- B. One (1) monument sign per lot may be installed with a maximum area of 60 square feet, a maximum height of eight (8) feet, with a one (1) foot masonry (brick/stone) border around all sides of the sign that matches the primary building, and shall also provide the street address with a minimum six (6) inches in height that is decorative metal and of contrasting color with the monument. Corner lots with double frontage may install a second monument sign along the additional ROW.
- C. A multi-tenant monument sign per street frontage may be located within a unified development consisting of multiple businesses on the same lot. Signs shall incorporate a one (1) foot masonry (brick/stone) border that matches the primary building, provide business identification signs on panels, and shall have a maximum area based upon the size of the development (80 square feet for buildings with three (3) or fewer tenant lease spaces; 100 square feet for projects with more than three (3) businesses and on less than five (5) acres; an 10 additional square feet for every acre over five (5) acres with a maximum allowed area of 200 square feet; and a height that does not exceed 10% of the sign's maximum allowed area).
- D. Pylon signs, pole signs, billboards, off-site signage, bandit stake signs, and

other signs are prohibited in the PGBT Area.

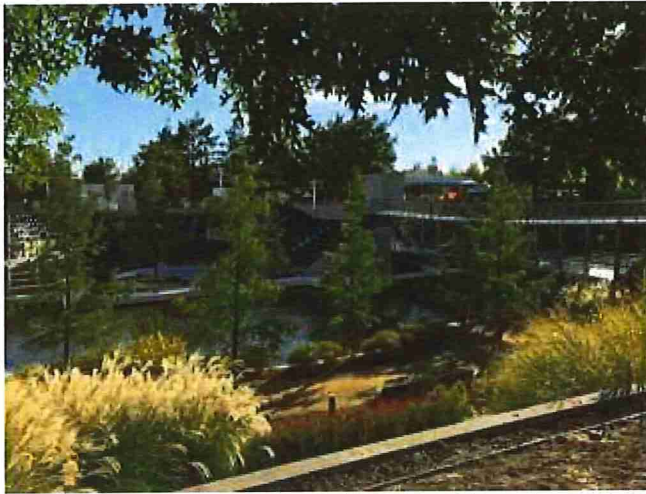
14.10 *Civic/Open Space Requirement and Palette*

- A. *Generally.* The design of Civic/Open Space shall be regulated by the Civic/Open Space palette herein, which shall create a network of open spaces that recognizes the natural qualities of the area while providing a range of both passive and active recreational opportunities. These opportunities may be accommodated in a variety of spaces ranging from large regional parks to neighborhood-scaled greens to urban squares and plazas. The open space network will be serviced by an interconnected network of trails and paths for pedestrians and bicyclists alike.
- B. Required Open Spacer
 - 1. *Non-Residential Uses.* All developments of non-residential uses shall include at least five (5) percent of civic/open space as defined in this Section of the net site area (excluding floodplain and public right-of-way). This requirement shall not apply when the civic/open space requirement is applied in conjunction with Urban Living Residential development.
 - 2. *Urban Living Residential Uses.* See Section 14.5.2 for Use Criteria.
 - 3. *Single Family Detached - Medium Density and Single Family Residential Attached - Dwelling Units.* If the commercial requirement is utilized the five (5) percent civic/open space requirement shall apply.
- C. Detention Pond Standards
 - 1. Stormwater detention for the PGBT District shall be designed and constructed in order to accomplish the following:
 - a. Stormwater facilities shall be designed and constructed to function as an amenity for the district.
 - b. Individual small dry detention ponds for each phase of development are discouraged.
 - c. When possible, it is encouraged for adjacent properties to work together to create community stormwater improvements.
 - 2. The City Engineer may modify this requirement in part, or in whole, as necessary to facilitate quality development within the

district.

3. Detention areas should emphasize their aesthetic and amenity value by incorporating a variety of plant materials intended to soften their visual impact, and improve their stormwater management functions

4. *Park Standards*



The park will create an important public space that connects the community within the PGBT Area and allows for passive recreation. Parks shall primarily be naturally landscaped with many places to sit on benches or low walls. Passive recreation activities in parks may include grassy lawns for unstructured and informal active recreational activities. Appropriate civic elements, fountains or open shelters may be included.¶

.....Column Break

Typical

Characteristics

General Character

Large, Open Space¶

Spatially defined by landscaping and building frontages¶

Paths, trails, open shelters, lawns, trees, and shrubs¶

¶

May be lineal, following the trajectories of natural corridors¶

Typical Uses¶

¶

Unstructured and Passive

Recreation Casual Seating /

Picnicking¶

5. *Green Standards*



The green will serve as an important public space for the PGBT Area. The green will be available for civic purposes, commercial activity, unstructured recreation and other passive uses. Greens shall primarily be naturally landscaped with many shaded places to sit. Appropriate paths, civic elements, fountains, or open shelters may be included and shall be formally placed within the green.

.....Column Break

Typical Characteristics¶

General Character¶

Open Space¶

Spatially defined by landscaping and building frontages¶

Lawns, trees and shrubs naturally disposed. Open Shelters and paths formally disposed.¶

Size¶

Shall have a range of sizes¶

Typical Uses¶

Unstructured and Passive Recreation¶

Casual Seating¶

Commercial and Civic Uses¶

Residential Address¶

6. *Plaza Standards*



Plazas add to the vibrancy of streets within the more urban areas and create formal open spaces available for civic purposes and commercial activity. Building frontages shall define these spaces. The landscape should consist of primarily hardscape. If trees are included, they should be formally arranged and of appropriate scale. Casual seating, along with tables and chairs, should be provided. Plazas typically should be located at the intersection of important streets.

Typical Characteristics

General Character

Formal Open Space

Primary Hardscape Surfaces

Trees and Shrubs Optional

Spatiality Defined by Building Frontages

Location and Size

Range of Sizes

Shall front at least one (1) street

Typical Uses

Commercial and Civic Uses

Casual Seating

Tables and Chairs for Outdoor Dining

Retail and Food Kiosks

7. *Pedestrian Passage Standards*



Pedestrian passages create intimate passageways through buildings at designated locations. These paths provide direct pedestrian access to residential addresses and create unique spaces for frontages to engage and enter off of. Pedestrian passages allow for social and commercial activity to spill into the public realm. Pedestrian passages should consist of a hardscape pathway activated by frequent entries and exterior stairways. The edges may simply be landscaped with minimal plantings and potted plants.

Typical Characteristics

General Character

Hardscape Pathway

Frequent Entries and Frontages

Exterior Stairways

Defined by Building Frontages

Minimal Planting and Potted Plants

Maintain Character of Surrounding Buildings

Location and Size

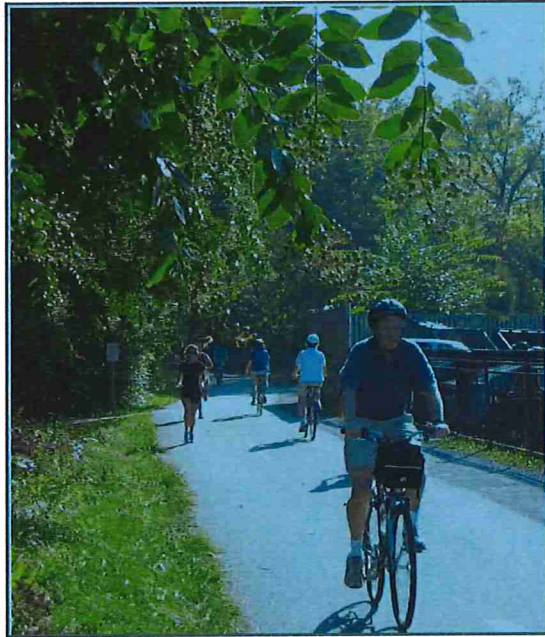
Min. Width

12 Feet

Typical Uses

Pedestrian Connection and Access

Casual Seating



The multi-use trail provides an important place for active recreation and creates a connection to regional paths and biking trails. The multi-use trail will help activate connections between the open spaces and the uses throughout the PGBT Area. The multi-use trail may have a different character as it passes through the park. Within the required park, the trail shall be naturally disposed with low impact paving materials so there is minimal impact to the existing flood plain and landscape.

Typical Characteristics

General Character

Park Multi-Use Trail

Naturally Disposed Landscape

Low Impact Paving

Trees Lining Trail

Appropriately Lit for Safety

Location and Size

Min. Width

12 Feet

Typical Uses

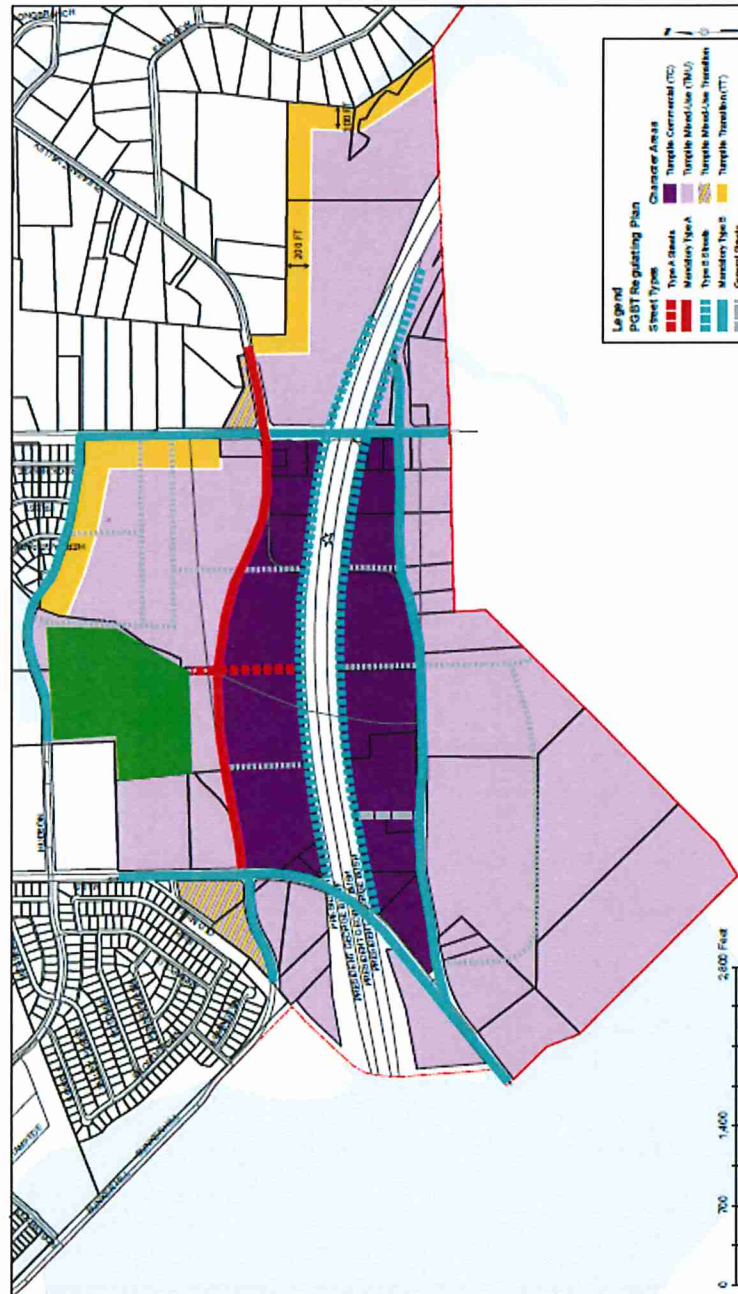
Active and Passive Recreation

Casual Seating

APPENDIX 1: REGULATING PLAN

PGBT Zoning District
October 2017

Appendix 1: Regulating Plan



APPENDIX 2: DEFINITIONS

In addition to Definitions in Chapter 11, Article 3, Section 14 of Sachse City Code of Ordinances, the following terms shall have the corresponding interpretations:

Arcade means a portion of the main façade of a building that is at or near the setback range and a colonnade supports the upper floors of the building. Arcades are intended for buildings with ground floor commercial or retail uses and the arcade may be one (1) or two (2) stories.

Auto-Related Uses means establishments that provide retail sales and services related to automobiles, including, but not limited to tires, batteries, gasoline, etc. Includes car wash, auto repair, gas stations and passenger vehicle leasing, but excludes vehicle sales unless located within the interior of a building, truck and trailer leasing.

Block Face Dimensions means the linear dimension of a block along one (1) of its street frontages.

Block Perimeter means the aggregate dimension of a block along all of its street frontages.

Block means the aggregate of lots, pedestrian passages and rear alleys, circumscribed on all sides by streets.

Block Face means the linear dimension of a block along one of its street frontages.

Building Façade Line means the vertical plane along a lot where the building's front façade is actually located.

Building Frontage means the percentage of a building's front façade that is required to be located at the front setback range as a proportion of that lot's frontage along the public street. Parks, plazas, squares and pedestrian passages shall be considered as buildings for the calculation of building frontage.

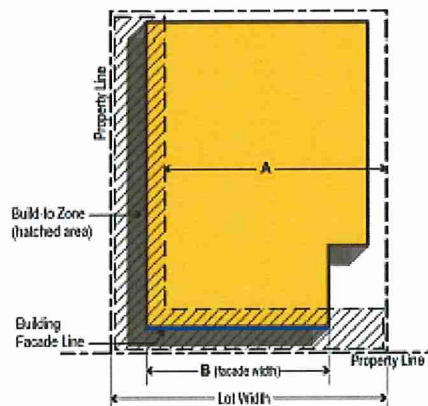


Figure 8: Building Frontage Diagram

Character Area means an area within the PGBT Area that creates a distinct urban form different from other areas within the PGBT Area. Character Areas are identified in the Regulating Plan.

Civic/Open Space means the publicly accessible open space in the form of parks, courtyards, forecourts, plazas, greens, pocket parks, playgrounds, etc. They may be privately or publicly owned. For all residential uses, privately accessible open spaces, such as courtyards, porches and balconies may also be considered as Civic/Open Space for the purposes of this Code. Building facades facing a Civic/Open Space shall be treated as a Type A Street frontage.

Complete Street means a street that not only accommodates various modes of transportation such as automobiles, transit, bikes and pedestrians, but also establishes a design context that is conducive for redevelopment along the street.

Encroachment means any structural or non-structural element such as a sign, awning, canopy, terrace, or balcony that breaks the plane of a vertical or horizontal regulatory limit, extending into a setback or public ROW, or above a height limit.

Garden Style Multifamily Residential means multifamily structures that have fewer units in two or more stories. Often called suburban-style apartments or residential units.

Heavy Industrial means uses and buildings that are intended to provide for the development and operation of distribution and manufacturing uses.

Home Occupation means a non-residential use conducted within a residential dwelling or permitted accessory building by a permanent resident of the building.

Kiosk means a small, temporary or permanent structure often open on one or more sides used for sales in civic/open spaces.

Light Industrial means uses that conduct manufacturing, assembling and fabrication and do not depend primarily on frequent visits of customers or clients, but usually require accessibility to major rail or street transportation facilities. Also referred to as Flex Industrial.

Living Screen means a street screen composed of landscaping in the form of vegetation.



Figure 9: Living Street Screen Examples

Live/Work Unit means a dwelling unit that is also used for work purposes, provided that the work component is restricted to the uses of professional office, artist's workshop, studio or other similar uses and is located on the street level and constructed as separate units under a condominium regime or as a single unit. The "live" component may be located on the street level (behind the work component) or any other level of the building. Live/Work Unit is distinguished from a home occupation otherwise defined by this Code in that the work use is not required to be incidental to the dwelling unit, non-resident employees may be present on the premises and customers may be served on site.

Minor Modification means any changes to the PGBT Area Code that meet the threshold criteria established in Section 3 and Table 3.1.

Multi-Unit Residential means a residential building that has 12 residential units or less, including duplexes, triplexes, quadplexes, etc. Multi-unit residential buildings can appear as a large home from the exterior, but function as a multi-unit building on the interior. Buildings typically have one main front door, but may also have side and rear entries. Parking is accessed from an alley or a driveway to the rear of the lot. Parking does not face a public right of way.

Duplex is a small- to medium-sized structure that consists of two (2) side-by-side or stacked dwelling units, both facing the street, and within a single building massing. This type has the appearance of a medium to large single family home and is appropriately scaled to fit within primarily single family neighborhoods or medium-density neighborhoods. It enables appropriately-scaled, well-designed residential infill and is important for providing a broad choice of housing types and promoting walkability.



Figure 10: Multi-Unit Residential Homes

Regulating Plan means the Zoning Map attached herein that shows the Character Areas, Civic/Open Spaces, Streets and other requirements applicable to the PGBT Area subject to the standards in this Code.

Residential Loft means a residential unit that is built to retail ready standards and adapted for residential uses.

Retail Ready means space constructed at a minimum ground floor height as established in each character area, which may be used for noncommercial uses and can be converted into retail/commercial use. Prior to the issuance of a certificate of occupancy for a retail/commercial use in a Retail Ready space, the space must comply with all building and construction codes for that use. The intent of the Retail Ready space is to provide the flexibility of occupying a space in accordance with market demand and allowing the use in such space to change to retail/commercial uses accordingly.

Setback Range means the distance in which a building must be constructed from the street or property line along a Type A or Type B Street. Publicly accessible and activated people spaces, such as outdoor cafes, patios and plazas differentiated from the sidewalk shall be allowed to be included in the building façade delineation for purposes of meeting a build-to or setback range requirement.



Figure 11: Activated People Spaces serving as Building Frontages

Single Family Detached – Medium Density means single family homes located on smaller lots in traditional or mixed-use neighborhoods. Types can include patio homes, cottage courts, etc.

Patio Homes means single family detached homes located on a small lot that has at least some private yard space, generally in the back and/or side yards, but also possibly a small front yard. These types of homes may also be called “villa” or “zero lot line” homes if the homes are located on one of the side property lines.



Figure 12: Single Family Detached Medium Density Homes

Street Screen means a freestanding wall or living screen built along the BTZ or in line with the building façade line along the street. It may mask a parking lot or a loading/service area from view or provide privacy to a side yard and/or strengthen the spatial definition of the public realm.

Street Type means a specific designation for streets in the PGBT Area that establishes certain character and cross sections to improve walkability within the PGBT Area.

Townhouse means a small- to medium-sized attached structure that consists of two (2) to eight (8) houses placed

side-by-side. This type of residential building is typically located in a location that transitions from a primarily single family neighborhood into a commercial corridor. This building type enables appropriately-scaled, well-designed residential infill and is important for providing a broad choice of housing types and walkability.



Figure 12: Townhouses or Townhomes

Transition Zones mean the areas with specific adjacencies within which certain limitations on building heights apply as established for each Character Area.

Tree Well means an unpaved area around the trunk of a tree within the sidewalk area that is either landscaped with ground cover or covered with a tree grate.

Type A Street means the streets identified as such on the Regulating Plan. Type A Streets are the primary pedestrian streets and building along Type A Streets shall be held to the highest standard of pedestrian-oriented design.

Type B Street means the streets identified as such on the Regulating Plan. Type B Streets are intended to primarily accommodate access to parking, service and other auto-related functions.

Urban Living Residential means multiple separate housing units for residential inhabitants are contained within one building or several buildings within one complex. Can include studio, one (1) and two (2) bedroom units, residential lofts and condos.



Figure 13: Multifamily Residential Units in Mixed-Use Environments

Urban Tree means a tree specifically selected for its ability to withstand harsh urban conditions, its upright branching habit and its non-invasive root system.

SECTION 2. That, to the extent of any irreconcilable conflict with the provisions of this ordinance and other ordinances of the City of Sachse governing the use and development of the Property and which are not expressly amended by this ordinance, the provisions of this ordinance shall be controlling.

SECTION 3. That all provisions of the Ordinances of the City of Sachse, Texas, in conflict with the provisions of this Ordinance be and the same are hereby, repealed, and that all other provisions of the Ordinances of the City of Sachse not in conflict with the provisions of this Ordinance shall remain in full force and effect.

SECTION 4. That should any sentence, paragraph, subdivision, clause, phrase or section of this Ordinance be adjudged or held to be unconstitutional, illegal, or invalid, the same shall not affect the validity of this Ordinance as a whole or any part or provision thereof other than the part thereof decided to be unconstitutional, illegal, or invalid.

SECTION 5. An offense committed before the effective date of this Ordinance is governed by prior law and the provisions of the Ordinances of the City of Sachse, as amended, in effect when the offense was committed and the former law is continued in effect for this purpose.

SECTION 6. That any person, firm, or corporation violating any provisions or terms of this Ordinance shall be subject to the same penalty as provided for in the Code of Ordinances, as amended, and upon conviction shall be punished by a fine not to exceed the sum of Two Thousand Dollars (\$2,000.00) for each offense, and each and every day such violation shall continue shall be deemed to constitute a separate offense.

SECTION 7. This ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED by the City Council of the City of Sachse, Texas on the _____ day of _____, 2017.

APPROVED:

Mike J. Felix
Mayor

DULY ENROLLED:

Michelle Lewis Sirianni
City Secretary

APPROVED AS TO FORM:

Peter G. Smith
City Attorney
(11-03-2017/92988)



City of Sachse, Texas

Legislation Details (With Text)

File #:	17-4059	Version:	1	Name:	PGBT rezoning - CC PH 11-06-17
Type:	Agenda Item	Status:		Status:	Agenda Ready
File created:	10/24/2017	In control:		In control:	City Council
On agenda:	11/6/2017	Final action:		Final action:	
Title:	Conduct a public hearing to consider an ordinance amending the comprehensive zoning ordinance and map of the City of Sachse, as heretofore amended, to grant a change of zoning on approximately 611 acres of land, generally located at the intersection of Miles Road, Merritt Road, Pleasant Valley Road, and Bunker Hill Road and near and along the PGBT Turnpike, City of Sachse, Dallas County, Texas, from Agriculture (AG), Commercial 2 (C-2), Planned Development - 22 (PD 22), Planned Development - 25 (PD-25), Planned Development - 28 (PD-28), and Planned Development 34 (PD-34) Districts with Turnpike Overlay District, to PGBT zoning district.				

Sponsors:

Indexes:

Code sections:

Attachments: [Ordinance](#)

Date	Ver.	Action By	Action	Result
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Title

Conduct a public hearing to consider and make recommendation on the city-initiated rezoning of approximately 611 acres of land, generally located where Miles Road, Merritt Road, Pleasant Valley Road, and Bunker Hill Road intersect near and along the PGBT Turnpike, from Agriculture (AG), Commercial 2 (C-2), Plan Development - 22 (PD 22), Plan Development - 25 (PD-25), Plan Development - 28 (PD-28), and Plan Development 34 (PD-34) Districts, with Turnpike Overlay District, to PGBT zoning district.

Background

Two (2) public hearings are scheduled for tonight. The first is for the adoption of the PGBT zoning district regulations into Chapter 11 (Zoning) of the Code of Ordinances. The second is for the city-initiated rezoning of the land within the PGBT area to the new PGBT zoning district.

On October 9th, Gateway Planning presented to a special joint work session of the City Council and Planning & Zoning Commission, led a discussion, and received feedback on the proposed PGBT zoning.

Tonight, following a presentation by Gateway Planning, the Planning & Zoning Commission will conduct two (2) public hearings for the PGBT zoning project.

Policy Considerations

Should the new PGBT zoning district be applied to the land in the PGBT area?

Budgetary Considerations

N/A

Next Steps

- Joint City Council and P&Z work session (10-09-17)
- Public hearings by P&Z (10-23-17)
- Public hearings by City Council (11-06-17)

Recommendation

Approve an ordinance amending the comprehensive zoning ordinance and map of the City of Sachse, as heretofore amended, to grant a change of zoning on approximately 611 acres of land, generally located at the intersection of Miles Road, Merritt Road, Pleasant Valley Road, and Bunker Hill Road and near and along the PGBT Turnpike, City of Sachse, Dallas County, Texas, and as depicted in Exhibit "A", from Agriculture (AG), Commercial 2 (C-2), Planned Development - 22 (PD 22), Planned Development - 25 (PD-25), Planned Development - 28 (PD-28), and Planned Development 34 (PD-34) Districts with Turnpike Overlay District, to PGBT zoning district.

ORDINANCE NO. _____

AN ORDINANCE OF THE CITY OF SACHSE, TEXAS, AMENDING THE COMPREHENSIVE ZONING ORDINANCE AND MAP OF THE CITY OF SACHSE, AS HERETOFORE AMENDED, TO GRANT A CHANGE OF ZONING ON APPROXIMATELY 611 ACRES OF LAND, GENERALLY LOCATED AT THE INTERSECTION OF MILES ROAD, MERRITT ROAD, PLEASANT VALLEY ROAD, AND BUNKER HILL, AND NEAR AND ALONG THE PGBT TURNPIKE, CITY OF SACHSE, DALLAS COUNTY, TEXAS, AND AS DEPICTED IN EXHIBIT "A", FROM AGRICULTURAL (AG), COMMERCIAL 2 (C-2), PLANNED DEVELOPMENT 22 (PD-22), PLANNED DEVELOPMENT 25 (PD-25), PLANNED DEVELOPMENT 28 (PD-28), AND PLANNED DEVELOPMENT 34 (PD-34) DISTRICTS WITH TURNPIKE OVERLAY, TO PGBT ZONING DISTRICT; PROVIDING A CONFLICTS CLAUSE; PROVIDING A REPEALING CLAUSE; PROVIDING A SAVINGS CLAUSE; PROVIDING A SEVERABILITY CLAUSE; PROVIDING A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the Planning and Zoning Commission of the City of Sachse and the governing body of the City of Sachse, in compliance with state laws applying to amending the Comprehensive Zoning Ordinance and Map, have given the requisite notice by publication and otherwise, and after holding due hearings and affording a full and fair hearing to all property owners generally, the governing body of the City of Sachse is of the opinion that said comprehensive zoning ordinance should be amended as provided herein;

NOW THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF SACHSE, TEXAS:

SECTION 1. That the Comprehensive Zoning Ordinance and Map of the City of Sachse, Texas, as heretofore amended, be and the same are hereby further amended to grant a change in zoning on approximately 611 acres of land, generally located at the intersection of Miles Road, Merritt Road, Pleasant Valley Road, and Bunker Hill, and near and along the PGBT Turnpike, City of Sachse, Dallas County, Texas, and as depicted in Exhibit "A", attached hereto and incorporated herein by reference, from Agricultural (AG), Commercial 2 (C-2), Planned Development 22 (PD-22), Planned Development 25 (PD-25), Planned Development 28 (PD-28) and Planned Development 34 (PD-34) Districts with Turnpike Overlay, to PGBT Zoning District.

SECTION 2. To the extent of any irreconcilable conflict with the provisions of this ordinance and other ordinances of the City of Sachse governing the use and development of the Property and which are not expressly amended by this ordinance, the provisions of this ordinance shall be controlling.

SECTION 3. That all provisions of the ordinances of the City of Sachse in conflict with the provisions of this ordinance be, and the same are hereby, repealed, and all other provisions of

the ordinances of the City of Sachse not in conflict with the provisions of this ordinance shall remain in full force and effect.

SECTION 4. That should any sentence, paragraph, subdivision, clause, phrase or section of this ordinance be adjudged or held to be unconstitutional, illegal or invalid, the same not affect the validity of this ordinance as a whole, or any part or provision thereof other than the part so decided to be invalid, illegal or unconstitutional, and shall not affect the validity of the Comprehensive Zoning Ordinance as a whole.

SECTION 5. An offense committed before the effected date of this ordinance is governed by the prior law and the provisions of the Comprehensive Zoning Ordinance, as amended, in effect when the offense was committed and the former law is continued in effect for this purpose.

SECTION 6. That any person, firm or corporation violating any of the provisions or terms of this ordinance shall be subject to the same penalty as provided for in the Comprehensive Zoning Ordinance of the City of Sachse, as heretofore amended, and upon conviction shall be punished by a fine not to exceed the sum of Two Thousand (\$2,000.00) Dollars for each offense; and each and every day such violation shall continue shall be deemed to constitute a separate offense.

SECTION 7. This ordinance shall take effect immediately from and after its passage and the publication of the caption, as the law and Charter in such cases provide.

PASSED AND APPROVED by the City Council of the City of Sachse, Texas on the _____ day of _____, 2017.

APPROVED:

Mike J. Felix
Mayor

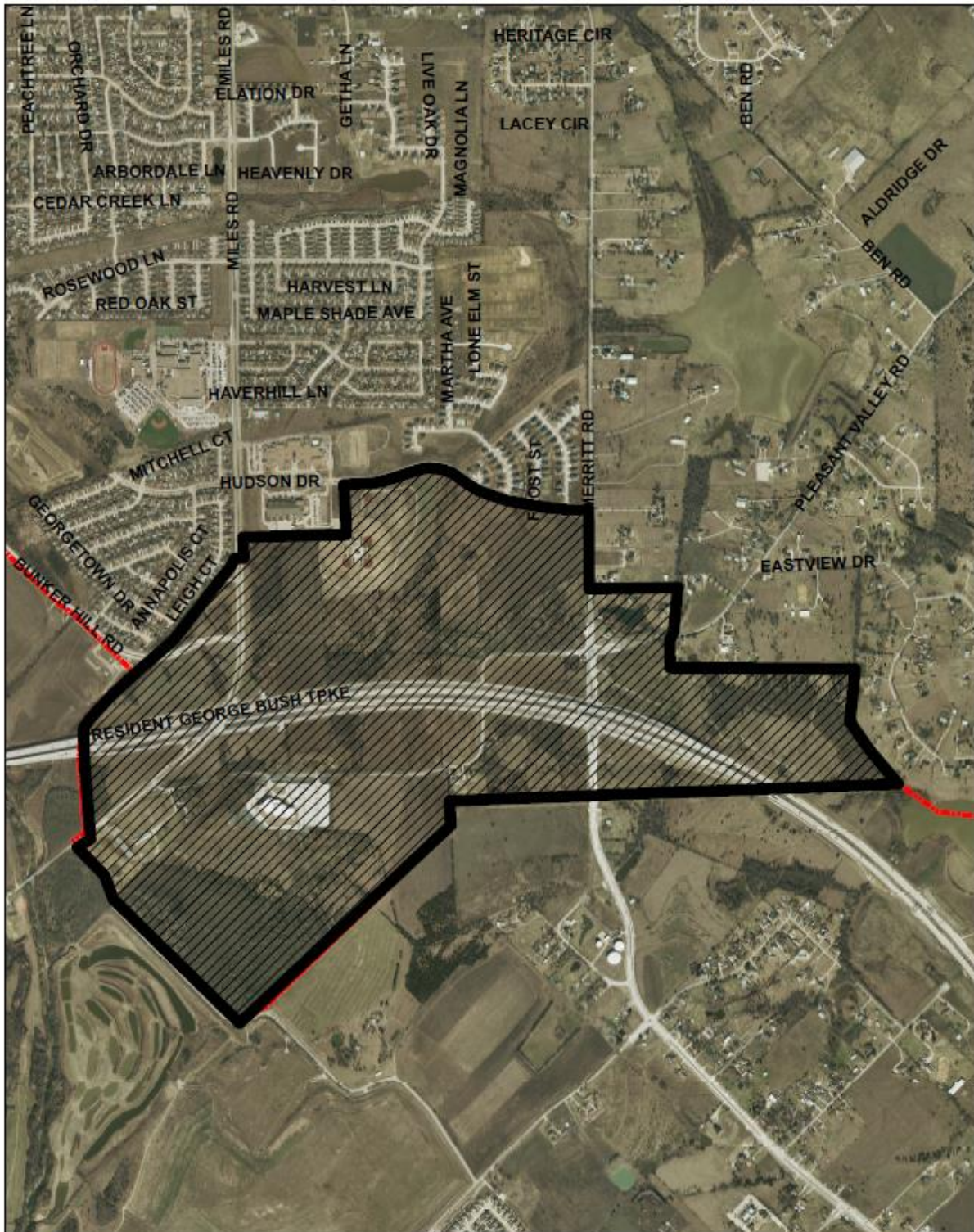
DULY ENROLLED:

Michelle Lewis Sirianni
City Secretary

APPROVED AS TO FORM:

Peter G. Smith
City Attorney
(11-03-2017/93002)

EXHIBIT "A"
DEPICTION



Re-zone Location Map