



**Monday, December 2, 2019
Regular Combined City Council Meeting**

**Council Chambers
3815 Sachse Road, Building B
6:30 p.m.**

The City of Sachse reserves the right to reconvene, recess or realign the workshop meeting, regular meeting, called Executive Session or order of business at any time prior to adjournment.

As authorized by Section 551.071(2) of the Texas Government Code, these meetings may be convened into closed Executive Session at any time during the City Council workshop or regular meeting for the purpose of seeking confidential legal advice from the City Attorney on any workshop or regular meeting agenda item listed herein.

A. 6:30 PM WORKSHOP MEETING

1. Call to Order: The City Council of the City of Sachse will hold a Workshop Meeting on Monday, December 2, 2019 at 6:30 p.m. in the Council Chambers at Sachse City Hall, 3815 Sachse Road, Building B, Sachse, Texas to consider the following items of business:
2. Receive a presentation regarding the proposed Trinity Regional Hospital development along the President George Bush Turnpike.
3. The City Council shall convene into Executive Session pursuant to Texas Government Code Section §551.087 Economic Development Deliberations: Deliberate the offer of a financial or other incentive relating to the development of Project Trinity.
4. Discussion of City Council meeting agenda items.
5. Adjournment.

B. 7:30 PM REGULAR MEETING

1. Call to Order: The City Council of the City of Sachse will hold a Regular Meeting on Monday, December 2, 2019 at 7:30 p.m. in the Council Chambers at Sachse City Hall, 3815 Sachse Road, Building B, Sachse, Texas to consider the following items of business:
2. Invocation and Pledges of Allegiance.

C. Special Announcements

1. Mayor and City Council announcements regarding special events, current activities, and local achievements.

D. Citizen Input

1. Citizen Input: The public is invited at this time to address the Council. Please come to the microphone and state your name and address for the record. If your remarks pertain to a specific agenda item, please hold them until that item, at which time the Mayor may solicit your comments. Time limit is 3 minutes per speaker. The City Council is prohibited by state law from discussing any item not posted on the agenda according to the Texas Open Meetings Act, but may take them under advisement. Issues raised may be referred to City Staff for research and possible future action.

E. Consent Agenda - All items listed on the consent agenda will be considered by the City Council and will be enacted on by one motion. There will be no separate discussion of these items unless a Councilmember or citizen so requests.

1. Approve the minutes of the November 14, 2019, special meeting.
2. Approve an ordinance amending and restating Ordinance No. 3949 that was passed and approved on November 4, 2019, ordering a Special Election to be held on the 7th day of January 2020, in the City of Sachse, Texas for the purpose of electing a Councilmember to fill the vacancy for the unexpired term for Councilmember Place 4.
3. Approve the Consent Agenda Items as presented.

F. Regular Agenda Items

1. Conduct a public hearing to consider and act on a resolution allowing the addition of 14.933 acres of land to the Sachse Public Improvement District No. 1.
2. Consider and act on a request by Batsu Enterprises for major and minor modifications to the PGBT Zoning District standards for a site civil plan relating to the development of 19.607± acres out of the Richard Copeland Survey, Abst. No. 228, City of Sachse, Dallas County, Texas, generally located north of the westbound PGBT Frontage Road between Miles Road and Merritt Road
3. Consider and act on a preliminary plat of Trinity Regional Hospital Lot 1, Block A and Lot 1, Block B, being 19.607± acres out of the Richard Copeland Survey, Abst. No. 228, City of Sachse, Dallas County, Texas, generally located north of the westbound PGBT Frontage Road between Miles Road and Merritt Road.
4. Conduct a public hearing to consider and act on a resolution approving the issuance of bonds by the Public Finance Authority to provide funds to Trinity Regional Hospital Sachse, LLC, to finance costs related to design, construction and equipment of a 32 bed acute care hospital to be located at 4825 President George Bush Turnpike, within the City of Sachse.
5. Consider a resolution adopting a policy permitting the consideration of applications for primary depository bank services received from financial institutions that are not doing business within the municipal boundaries of the City.
6. Consider a resolution casting its vote for the fourth member of the Board of Directors of the Dallas Central Appraisal District (DCAD).
7. Consider a resolution casting its vote(s) for the Collin Central Appraisal District Board of Directors (CCAD).

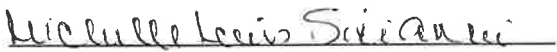
G. Executive Session

1. The City Council shall convene into Executive Session pursuant to Texas Government Code Section §551.087 Economic Development Deliberations: Deliberate the offer of a financial or other incentive relating to the development of Project Trinity.
2. Take any action as a result of Executive Session.

H. Regular Meeting Closing

1. Adjournment.

I, the undersigned authority, do hereby certify that this notice of meeting was posted in accordance with the regulations of the Texas Open Meetings Act and was posted on the bulletin board, an accessible location at Sachse City Hall.



Michelle Lewis Sirianni, City Secretary

Accommodation requests for persons with disabilities should be made at least 48 hours prior to the meeting by contacting Lauren Rose, ADA Coordinator, via phone at 972.429.4770, via email at lrose@cityofsachse.com, or by appointment at 3815 Sachse Road, Building B, Sachse, Texas 75048.

**Agenda Item Details**

Meeting	Dec 02, 2019 - Regular Combined City Council Meeting
Category	A. 6:30 PM WORKSHOP MEETING
Subject	2. Receive a presentation regarding the proposed Trinity Regional Hospital development along the President George Bush Turnpike.
Access	Public
Type	Discussion, Information

Public Content**BACKGROUND**

- A hospital and medical office development (Trinity Regional Hospital) is being proposed on approximately 19.9 acres located along the north side of President George Bush Turnpike (PGBT).
- The proposed hospital and medical office development are located within the PGBT Zoning district.

OVERVIEW

- The developer will provide a presentation to go over the proposed details of the project and answer any questions the City Council has. The developer presented to the Planning and Zoning Commission on Monday, October 28, 2019, the City Council on Monday, November 4, 2019, and back to the Planning and Zoning Commission on Monday, November 25, 2019.
- As part of the discussion, the developer is seeking feedback on the proposed layout and the potential modifications that will be necessary to accommodate the proposed layout.

RECOMMENDATION

- To provide feedback regarding the layout and any potential modifications and waiver requests associated with the proposed Trinity Regional Hospital project.

**Agenda Item Details**

Meeting	Dec 02, 2019 - Regular Combined City Council Meeting
Category	A. 6:30 PM WORKSHOP MEETING
Subject	3. The City Council shall convene into Executive Session pursuant to Texas Government Code Section §551.087 Economic Development Deliberations: Deliberate the offer of a financial or other incentive relating to the development of Project Trinity.
Access	Public
Type	Closed Session

Public Content

**Agenda Item Details**

Meeting	Dec 02, 2019 - Regular Combined City Council Meeting
Category	E. Consent Agenda - All items listed on the consent agenda will be considered by the City Council and will be enacted on by one motion. There will be no separate discussion of these items unless a Councilmember or citizen so requests.
Subject	1. Approve the minutes of the November 14, 2019, special meeting.
Access	Public
Type	Action (Consent), Minutes
Recommended Action	Approve as presented.
Minutes	View Minutes for Nov 14, 2019 - City Council Special Meeting

Public Content**BACKGROUND**

Minutes of the November 14, 2019, special meeting.

POLICY CONSIDERATIONS

There are no policy considerations affiliated with this item.

RECOMMENDATION

Approve the minutes of the November 14, 2019, special meeting.

11.14.19 Special Meeting Minutes.pdf (54 KB)

All items listed on the consent agenda will be considered by the City Council and will be enacted on by one motion. There will be no separate discussion of these items unless a Councilmember or citizen so requests.

CITY COUNCIL OF THE CITY OF SACHSE

SPECIAL MEETING MINUTES

NOVEMBER 14, 2019

The City Council of the City of Sachse held a special meeting on Thursday, November 14, 2019 at 7:30 p.m. at Sachse City Hall, 3815 Sachse Road, Building B, Sachse, Texas. Those present were Mayor Mike Felix, Mayor Pro Tem Michelle Howarth, Councilmembers Brett Franks, Paul Watkins, Cullen King, and Jeff Bickerstaff; City Manager, Gina Nash; City Attorney, Joe Gorfida; Special Appointed Counsel, Julia Gannaway; City Secretary, Michelle Lewis Sirianni; and Police Chief, Bryan Sylvester.

Mayor Felix opened the special meeting at 7:30 p.m.

Mayor Felix opened up any comments from the public.

No comments were made.

EXECUTIVE SESSION: The City Council shall convene into Executive Session pursuant to Section §551.071(2) of the Texas Government Code to consult with the City Attorney and Section §551.074(a)(2) of the Texas Government Code regarding the following: - Pursuant to Chapter 1, Section 1-22(H) of the Sachse Code of Ordinances: Consider the written report submitted by outside counsel, Julie Gannaway, as it relates to the ethics complaint filed by Shawntaigne Riner against former Mayor Pro Tem, Bill Adams.

At 7:31 p.m., the City Council recessed into Executive Session.

At 8:15 p.m., the City Council reconvened back into open session.

Julia Gannaway stated that there was a complaint against former Mayor Pro Tem Bill Adams (Mr. Adams) filed on October 8, 2019 concerning several social media posts. She was appointed by the City Council to conduct an investigation on October 14, 2019. She stated that she interviewed both the Complainant and Mr. Adams on October 21, 2019. The report is as follows:

Complaint #1: Violated Code of Ethics Section 1-22(F)(1)

“Officers who post on any social media website that may be viewed by the public are expected to exercise the highest levels of accuracy, professionalism, respect, and concern for the reputation and peace of mind of individuals who may be affected by the post and the reputation and image of the City. Any comments, opinions, or statements posted by an officer are subject to the restrictions under the Texas Open Meetings Act.”

Finding: Sustained.

Mr. Adams did use the Complainant's name and called her a "drama queen," which was neither professional nor respectful. While Mr. Adams denied any intent to humiliate, defame or ridicule her, he created a second post in which he stated, "to combat continuous childishness, lies and deceit, I have moles too . . ." and attached the Complainant's social media comment on Mr. Adams' initial post, objectively including her in those descriptions. Those statements were also neither professional nor respectful.

The Complainant asserted that Mr. Adams' post stating he did not know her was inaccurate. She stated he had "verbally accosted" her in an email chain with the City Council in 2010-2011. Mr. Adams states he has never spoken with her in person, although he does know her by sight. He does not recall the email issue from 2010-2011.

Complaint #2: Violated Code of Ethics Section 1-22(F)(3)

"Officers shall refrain from posting personal opinions on matters to be brought before the City Council, board or commission including, but not limited to, personal opinions on pending matters before City council, board or commission, declaration of how an officer intends to vote on an issue, engaging or debating with citizens on items presented to the council, board or commission, or officers' arguments for or against an item. These postings could be considered a violation of the Texas Open Meetings Act and could result in criminal and civil liabilities for the officer under the Texas Government Code Chapter 551."

Finding: Not Sustained.

Mr. Adams initially posted an item which was intended to be a joke; he denied any intent to mock citizens regarding the trash service in the City. This was not a violation because although the Council was scheduled to receive an update from the trash company in a workshop session, it was not posted for a vote or any Council action.

Ms. Gannaway did not detect any potential violations of the Texas Open Meetings Act for this claim.

Complaint #3: Violated Code of Ethics Section 1-22(F)(5)

"Officers shall maintain professionalism and common courtesy in their posts when commenting in their official capacity and remain neutral to prevent the interpretation that a decision has already been made in an Open Meeting which is a violation of the Texas Open Meetings Act."

Finding: Sustained.

Mr. Adams denied any malicious intent in his original post and intended it to be a joke. However, in his third post, Mr. Adams used words such as "continuous childishness," "lies," "deceit," and attached the Complainant's post, which was criticizing his original post. That was neither professional nor courteous.

In posts number five and number six, Mr. Adams called the Complainant a “drama queen” which is neither professional nor courteous. However, Mr. Adams’ comments did not reflect an opinion on the merits of the trash issue or convey a decision had been made.

Complaint #4: Violated Code of Ethics Section 1-22(F)(7)

“When posting an on-line communication that discusses City-related issues, but which is not posted as an approved representative of the City or on the City’s behalf, all persons must make it clear that they are speaking for themselves, and not on behalf of the City by displaying a disclaimer that states that it is their own opinion and not necessarily the opinion or position held by the City, City council, board or commission.”

Finding: Sustained.

In posts number one and number three, Mr. Adams did not post a disclaimer. The first post was not a violation. Yet, in post number three, Mr. Adams posted his personal opinion about the Complainant.

In posts number five and number six, Mr. Adams asserted he posted a disclaimer, but the disclaimer was not presented during the investigation. The Complainant reported she was not provided the entire post, which may have included disclaimer language. Mr. Adams believes his posting of a disclaimer adequately negated his culpability. Mr. Adams stated he included the City contact information not to reflect an official capacity, but to show how to reach him.

Notwithstanding Mr. Adams’ belief, the content of the posts themselves reflect that he is a councilmember.

Complaint #5: Violated Code of Ethics Section 1-22(F)(6)

“Officers shall not use their official positions to post negative or derogatory comments or voice their personal opinions against an individual, business or entity. Such conduct could result in negative feedback for the officer and the City, and the officer could potentially be liable for slander, defamation of character or other civil remedies as determined by a court.”

Finding: Sustained.

In post number three, there was no disclaimer and Mr. Adams is known as a Sachse councilmember. That post contained comments that were negative and/or derogatory towards the Complainant as Mr. Adams attached her post to his, thus identifying her.

Posts number five and number six include negative and derogative comments and his personal opinion of the Complainant.

These posts resulted in this complaint, which created negative feedback for both Mr. Adams and the City. However, Mr. Adams reported to the investigation that he has removed and/or caused to be removed posts number five and number six. Thus, he has taken some action to reduce the negative feedback to the City.

Ms. Gannaway made no findings regarding any potential civil cause of action.

Ms. Gannaway stated Mr. Adams violated this Ordinance in posts number three, number five, and number six (October 5 and October 7). He did intentionally and knowingly make these posts, which were disrespectful, discourteous, unprofessional, and resulted in negative feedback for the City.

Mr. Gorfida stated the City Council first has the option to accept or reject the report. The City Council may also take any of the following options pursuant to the Ethics Policy: issue a letter of notification; issue a letter of admonishment, or issue a letter of reprimand, depending on the severity of the findings. The Council may also pass a resolution of censure with a recommendation for a recall, which is no longer necessary since Mr. Adams is no longer a councilmember.

Councilman Franks stated pursuant to the City of Sachse Code of Ordinances, Chapter 1, Section 1-22(I) "Violations", he made a motion to accept the official report and hereby issue a letter of reprimand. Councilman Bickerstaff seconded that motion and the motion was unanimously approved.

ADJOURNMENT:

Mayor Felix adjourned the special meeting at 8:26 p.m.

MIKE J. FELIX, MAYOR

ATTEST:

Michelle Lewis Sirianni, City Secretary

**Agenda Item Details**

Meeting	Dec 02, 2019 - Regular Combined City Council Meeting
Category	E. Consent Agenda - All items listed on the consent agenda will be considered by the City Council and will be enacted on by one motion. There will be no separate discussion of these items unless a Councilmember or citizen so requests.
Subject	2. Approve an ordinance amending and restating Ordinance No. 3949 that was passed and approved on November 4, 2019, ordering a Special Election to be held on the 7th day of January 2020, in the City of Sachse, Texas for the purpose of electing a Councilmember to fill the vacancy for the unexpired term for Councilmember Place 4.
Access	Public
Type	Action (Consent)
Recommended Action	Approve as presented.

Public Content**BACKGROUND**

The City Council approved an ordinance ordering a Special Election on Saturday, January 18, 2020 to fill a vacancy for an unexpired term for Councilmember Place 4 at its Monday, November 4, 2019, meeting. Dallas County required staff to change the original date due to the likelihood of a run-off election occurring.

OVERVIEW

In order to allow for a Run Off Election (if needed), the Special Election voting dates need to be pushed back due to the interference with the Primary Election dates. This item is to change the initial date of Saturday, January 18, 2020, to Tuesday, January 7, 2020, as well as to provide Early Voting dates. The Election will be held at Sachse City Hall for both Collin County and Dallas County residents.

POLICY CONSIDERATIONS

The City will contract separately with Collin and Dallas County for this Election. Although, voting will be held at City Hall, there will be a separate designation in the voting location for residents who reside in Dallas County and those who reside in Collin County.

RECOMMENDATION

Approve an ordinance amending and restating Ordinance No. 3949 that was passed and approved on November 4, 2019, ordering a Special Election to be held on the 7th day of January 2020, in the City of Sachse, Texas for the purpose of electing a councilmember to fill the vacancy for the unexpired term for Councilmember Place 4.

Ordinance Amending and Restating Ordinance Calling for Special Election on January 7, 2020.pdf (20 KB)

All items listed on the consent agenda will be considered by the City Council and will be enacted on by one motion. There will be no separate discussion of these items unless a Councilmember or citizen so requests.

ORDINANCE NO. _____

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF SACHSE, TEXAS, AMENDING AND RESTATING ORDINANCE NO. 3949 THAT WAS PASSED AND APPROVED ON NOVEMBER 4, 2019, ORDERING A SPECIAL ELECTION TO BE HELD ON THE 7TH DAY OF JANUARY, 2020, IN THE CITY OF SACHSE FOR THE PURPOSE OF ELECTING A COUNCILMEMBER TO FILL THE VACANCY FOR THE UNEXPIRED TERM FOR COUNCILMEMBER PLACE 4; DESIGNATING LOCATION OF POLLING PLACE; ORDERING NOTICE OF ELECTION TO BE GIVEN AS PRESCRIBED BY LAW IN CONNECTION WITH SUCH ELECTION; AUTHORIZING THE CITY MANAGER TO EXECUTE ELECTION AGREEMENTS WITH DALLAS AND COLLIN COUNTIES; PROVIDING A REPEALING CLAUSE; PROVIDING A SEVERABILITY CLAUSE AND PROVIDING FOR AN EFFECTIVE DATE.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF SACHSE, TEXAS:

WHEREAS, in accordance with the general laws and Constitution of the State of Texas and the Charter of the City of Sachse, Texas, a Special City Election for the election of a councilmember to fill a vacancy for the unexpired term for Councilmember Place 4 shall be conducted on Tuesday, January 7, 2020; and

WHEREAS, the City Council desires to enter into Election Agreements with Dallas and Collin Counties to conduct a Special Election for the benefit of the City and its citizens.

SECTION I

IT IS ORDERED THAT a special election be held for City Officers (City Council) in the City of Sachse, Texas on the 7th day of January, 2020, for the purpose of electing a Councilmember Place 4 to fill the unexpired term created by the resignation of Bill Adams. The Councilmember Place 4 shall be elected for a term of approximately four (4) months. The candidate for each such office, receiving a majority of all votes cast for all the candidates for an office, shall be elected to serve such term.

SECTION II

That the polling place for both early voting and Election Day for said election shall be the Sachse City Hall, 3815-B Sachse Road, Sachse, Texas, for all Dallas and Collin County legally qualified voters residing in the City of Sachse.

SECTION III

That none but legally qualified voters shall be entitled to vote at said election. Legally qualified voters shall be those persons having a current voter registration and shall be residents of the City of Sachse according to the Texas Election Code for said municipal election.

SECTION IV

That notice of said election shall be posted in three public places within the limits of the city according to the Texas Election Code. A return of such posting shall be documented by the City Secretary. Said notice to prescribe early voting by mail, early voting places and hours of operation, and Election Day hours of operation. Publication of said notice of the election shall be in accordance with the Texas Election Code.

SECTION V

That the City Manager and City Secretary are authorized to execute agreements for the Special Election with the Dallas and Collin Counties Elections Departments and other entities that will provide for all election appointments, early voting by mail, the voting location as Sachse City Hall and hours of operation, payments for election officials, necessary election arrangements and a runoff election (if applicable).

SECTION VI

That the City Secretary shall have the authority to approve any minor modifications as may be necessary in the best interest of the City and within the regulations of the Texas Election Code. The early voting mail clerk for Dallas County is: Toni Pippins-Poole, Early Voting Clerk, Dallas County Elections Department, 2377 N. Stemmons Freeway, Suite 820, Dallas, Texas 75207 and the early voting mail clerk for Collin County is: Bruce Sherbet, Early Voting Clerk, Collin County Elections Department, 2010 Redbud Blvd., Suite 102, McKinney, Texas 75069.

SECTION VII

The early voting by personal appearance shall be conducted at the Sachse City Hall, 3815-B Sachse Road, Sachse, Texas, on Monday, December 23, 2019, between the hours of 8:00 a.m. to 5:00 p.m.; Thursday, December 26, 2019 through Saturday, December 28, between the hours of 8:00 a.m. to 5:00 p.m.; Sunday, December 29, 2019, between the hours of 1:00 p.m. to 6:00 p.m.; Monday, December 30, 2019 through Tuesday, December 31, 2019, between the hours of 8:00 a.m. to 5:00 p.m.; and Thursday, January 2, 2020 through Friday, January 3, 2020, between the hours of 7:00 a.m. to 7:00 p.m.

SECTION VIII

The official canvass of the election returns shall be conducted on January 10, 2020. Upon receipt of final counts from the Dallas and Collin Counties Elections Departments, the City Secretary shall present the official results to the City Council and the canvass of said election shall take place in accordance with the Texas Election Code.

SECTION IX

That all provisions of the Code of Ordinances of the City of Sachse, Texas, in conflict with the provisions of this ordinance be, and the same are hereby, repealed, and all other provisions not in

conflict with the provisions of this ordinance shall remain in full force and effect.

SECTION X

That should any word, sentence, paragraph, subdivision, clause, phrase or section of this ordinance, or of the Code of Ordinances, as amended hereby, be adjudged or held to be void or unconstitutional, the same shall not affect the validity of the remaining portions of said ordinance or the Code of Ordinances, as amended hereby, which shall remain in full force and effect.

SECTION XII

That this ordinance shall take effect immediately from and after its passage and the publication of the caption, as the law and charter in such cases provides.

PASSED AND APPROVED by the City Council of the City of Sachse, Texas on the _____ day of _____, 2019.

APPROVED:

Mike J. Felix, Mayor

ATTEST:

Michelle Lewis Sirianni, City Secretary

APPROVED AS TO FORM:

Joseph J. Gorfida, Jr., City Attorney
(11-25-2019:TM 112369)

**Agenda Item Details**

Meeting	Dec 02, 2019 - Regular Combined City Council Meeting
Category	F. Regular Agenda Items
Subject	1. Conduct a public hearing to consider and act on a resolution allowing the addition of 14.933 acres of land to the Sachse Public Improvement District No. 1.
Access	Public
Type	Action, Discussion, Information
Preferred Date	Dec 02, 2019
Absolute Date	Dec 02, 2019
Recommended Action	Conduct a public hearing and approve a resolution for the addition of 14.933 acres of land to the Sachse Public Improvement District No. 1.

Public Content**BACKGROUND**

During its September 17, 2018, City Council meeting, the City Council authorized the City Manager to negotiate and execute on behalf of the City a Development Agreement with PMB Acquisitions, LLC relating to the Development of approximately 119 acres in the PGBT Zoning District and related financing with further authority to finalize the remaining terms to be negotiated, all subject to approval as to form by the City Attorney. Upon authorization from the City Council, a final Development Agreement was executed and approved as to form by the City Attorney.

Per the Development Agreement, the developer requested the establishment of a public improvement district (PID) to assist with the financing of the capital improvements needed to support the activation of the PGBT area. The City Council adopted a resolution that created Sachse Public Improvement District No. 1 on January 22, 2019. Pursuant to the Development Agreement, the landowner was permitted to request the addition of land to the established Sachse Public Improvement District No. 1. PMB submitted a petition for an additional 14.933 acres of property to the Sachse Public Improvement District No. 1.

At its November 4, 2019, meeting, the City Council accepted the petition for the addition of 14.933 acres of land to be added to the Sachse Public Improvement District No. 1 and called a public hearing to be held during the regular City Council meeting on December 2, 2019. A corresponding notice of the public hearing was published in the Sachse News and a letter was mailed to the owners of the property being added to the PID.

POLICY CONSIDERATIONS

This item is one of the tasks affiliated with the executed Development Agreement authorized by the City Council at its September 17, 2018 meeting. The creation of the PID is authorized by the Public Improvement District Assessment Act in Chapter 372 of the Texas Local Government Code.

RECOMMENDATION

Conduct a public hearing and approve a resolution for the addition of 14.933 acres of land to the Sachse Public Improvement District No. 1.

[NOTICE OF PUBLIC HEARING-Addition to PID.pdf \(15 KB\)](#)[C 4 - 11-13-19 - COMMON.pdf \(5,494 KB\)](#)[Sachse PID No. 1 - Resolution Adding Property to the PID.pdf \(79 KB\)](#)

NOTICE OF PUBLIC HEARING

Notice is hereby given that the City Council of the City of Sachse, Texas (the "City"), will hold a public hearing to accept public comments and discuss the petition (the "Petition"), filed by PMB Station Land, LP., a Texas limited partnership (the "Petitioner"), requesting that the City add approximately 14.933 acres of land (the "Property for Addition") to the Sachse Public Improvement District No. 1 (the "District") located entirely within the corporate limits of the City.

Time and Place of Public Hearing. The public hearing will start at or after 7:30 P.M. on December 2, 2019, in the regular meeting place of the City Council in the Council Chambers in City Hall located at 3815 Sachse Road, Sachse, Texas 75048.

General Nature of the Proposed Improvements. The public improvement projects to be designed, acquired and constructed in the Property for Addition (the "Additional Improvements") are of the same general nature as those previously approved by the City (the "Initial Improvements" and, together with the Additional Improvements, the "Authorized Improvements") in Resolution No. 3905, adopted by the City Council of the City on January 22, 2019 (the "Creation Resolution"), authorizing the creation of the District, which Creation Resolution is available at the City Secretary's office in City Hall located at 3815 Sachse Road, Sachse, Texas 75048 and available for public inspection during regular business hours.

Estimated Cost of the Improvements. The estimated costs of designing, constructing and acquiring all of the Additional Improvements is \$2,006,878, which when added to the \$28,390,976 of estimated costs of the Initial Improvements, results in a total estimated cost of \$30,397,854 for designing, constructing and acquiring all Authorized Improvements to be undertaken in the District.

Proposed District Boundaries. The Property for Addition consists of approximately 14.933 acres of land generally located north of the President George Bush Turnpike ("PGBT") on the corner of Miles Road and the PGBT and, after the addition of the Property for Addition, the District will generally be located north of the PGBT between Merritt Road and Miles Road and including parcels west of Miles Road and south of the PGBT, all as more particularly described by a metes and bounds description available at the City Secretary's office in City Hall located at 3815 Sachse Road, Sachse, Texas 75048 and available for public inspection during regular business hours.

Proposed Method of Assessment. The City shall levy an assessment on each parcel within the District, including the parcels within the Property for Addition, to pay the cost of the Authorized Improvements in a manner that results in imposing equal shares of the cost on property similarly benefited. Each assessment may be paid in full at any time (including accrued and unpaid interest) or may be paid in annual installments (including interest and debt). The installments must be paid in amounts necessary to meet annual costs for the Authorized Improvements and must continue for a period necessary to retire the indebtedness on the Authorized Improvements.

Proposed Apportionment of Cost between the District and City. The City shall not be obligated to provide any funds to finance the Additional Improvements. The cost of the Additional Improvements will be paid from assessments and from other sources of funds, if any, available to the Petitioner. The estimated costs of the Initial Improvements to be assessed against the property in the District approved by the City in the Creation Resolution will remain the same.

RESOLUTION NO. ____

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SACHSE, TEXAS, REGARDING THE ADDITION OF LAND TO SACHSE PUBLIC IMPROVEMENT DISTRICT NO. 1 AND ORDERING PUBLIC IMPROVEMENTS TO BE MADE FOR THE BENEFIT OF SUCH DISTRICT; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING AN EFFECTIVE DATE; AND CONTAINING OTHER MATTERS RELATING TO THE SUBJECT.

WHEREAS, on December 7, 2018, a petition (the "Petition") was submitted and filed with the City Secretary of the City of Sachse, Texas (the "City") pursuant to the Public Improvement District Assessment Act, Chapter 372, Texas Local Government Code, as amended (the "Act"), requesting the creation of a public improvement district located within the corporate limits of the City to be known as Sachse Public Improvement District No. 1 (the "District"); and

WHEREAS, the Petition contained the signatures of the owners of taxable real property representing more than fifty percent of the appraised value of taxable real property liable for assessment within the District, as determined by the then current ad valorem tax rolls of the Dallas Central Appraisal District, and the signatures of record property owners who own taxable real property that constitutes more than fifty percent of the area of all taxable property that is liable for assessment by the District; and

WHEREAS, on January 22, 2019, after due notice, the City Council of the City (the "Council") held the public hearing in the manner required by law on the advisability of the improvement projects and services described in the Petition as required by Section 372.009 of the Act and, on January 22, 2019, the Council made the findings required by Section 372.009(b) of the Act and, by Resolution No. 3905 (the "Creation Resolution"), adopted by a majority of the members of the Council, authorized the District in accordance with its finding as to the advisability of the improvement projects and services; and

WHEREAS, on January 31, 2019, the City published notice of its authorization of the District in a newspaper of general circulation in the City; and

WHEREAS, no written protests of the District from any owners of record of property within the District were filed with the City Secretary within 20 days after the date of publication of such notice; and

WHEREAS, on November 4, 2019, a second petition ("Petition #2") was submitted and filed with the City Secretary requesting the addition of approximately 14.933 acres of land (the "Property for Addition") to the District, from the record owners of taxable real property representing more than fifty percent (50%) of the appraised value of the real property liable for assessment (as determined by the most recent certified appraisal roll for Dallas County) in the Property for Addition and the record owners of taxable real property that constitute more than 50% of all of the area of all taxable real property that is liable for assessment in the Property for Addition; and

WHEREAS, the Property for Addition consists of approximately 14.933 acres of land generally located north of the President George Bush Turnpike ("PGBT") on the corner of Miles Road and the PGBT and, after the addition of the Property for Addition, the District will generally be located north of the PGBT between Merritt Road and Miles Road and including parcels west of Miles Road and south of the PGBT, and the District will contain approximately 170.686 acres, bisected by the PGBT and Miles Road, and will be developed as a master planned development to provide complimentary land uses, common infrastructure improvements and a common plan of finance that benefit all properties within the District, including the Property for Addition; and

WHEREAS, the Council has made findings based on the information contained in Petition #2 presented to the Council and the comments received at the public hearing;

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF SACHSE, TEXAS, THAT:

SECTION 1. The Council hereby approves the statements contained in the preamble of this Resolution and finds that all statements are true and correct and incorporate the same in the body of this Resolution.

SECTION 2. The Council, after considering Petition #2 and the evidence and testimony presented at the public hearing, hereby finds and determines that:

- (a) Petition #2 was filed with the City Secretary and was signed by owners of taxable real property representing more than 50 percent of the appraised value of taxable real property liable for assessment under Petition #2, as determined by the current appraisal roll of the appraisal district in which the property is located, and by the record owners of real property liable for assessment under Petition #2 who:
 - (i) constitute more than 50 percent of all record owners of property that is liable for assessment under Petition #2; or
 - (ii) owns taxable real property that constitutes more than 50 percent of the area of all taxable real property that is liable for assessment under Petition #2;
- (b) the proposed public improvements described in Petition #2 are of the nature of the public improvements described in Section 372.003 of the Act and are advisable and desirable improvements for the Property for Addition and the District;
- (c) the proposed public improvements will promote the interests of the City and are of the nature that will confer a special benefit on all property within the Property for Addition and the District by enhancing the value of such property located within the Property for Addition and the District;
- (d) the nature of the proposed improvements and estimated costs thereof are set forth and described in **Exhibit A** attached hereto and made a part hereof for all purposes;
- (e) the boundaries of the Property for Addition are described in **Exhibit B-1** hereto and the revised boundaries of the District, reflecting the addition of the Property for

Addition, are fully described in **Exhibit B-2** attached hereto and made a part hereof for all purposes;

- (f) the assessment of costs of the proposed public improvements will be levied on each parcel of property within the District, including the Property for Addition, in a manner that results in imposing equal shares of the costs on property similarly benefitted;
- (g) the costs of the proposed public improvements will be paid from assessments, bond proceeds, other sources of funds, if any, available to the petitioner, funds in an amount not to exceed \$6,446,000 provided by the City and possibly tax increment reinvestment zone revenues, as described in the Creation Resolution, Petition #2 and **Exhibit A**;
- (h) the management of the District, including the Property for Addition, will be by the City with the assistance of a third-party administrator and other consultants hired by the City and paid as part of the annual administrative cost of the District; and
- (i) the District, including the Property for Addition, shall be managed without the creation of an advisory body.

SECTION 3. Based on the foregoing, the Property for Addition is hereby added to the District, and the public improvements described in **Exhibit A** are authorized to be made in accordance with the service and assessment plan to be approved by the Council.

SECTION 4. After adoption of this resolution, the City Secretary is authorized and directed to cause a copy of this resolution to be published in a newspaper of general circulation within the City.

SECTION 5. If any section, article, paragraph, sentence, clause, phrase or word in this resolution or application thereof to any persons or circumstances is held invalid or unconstitutional by a court of competent jurisdiction, such holding shall not affect the validity of the remaining portions of this resolution; and the Council hereby declares it would have passed such remaining portions of the resolution despite such invalidity, which remaining portions shall remain in full force and effect.

SECTION 6. The authorization of the District pursuant to this resolution shall take effect upon publication of this resolution as provided above.

DULY RESOLVED AND APPROVED by the City Council of the City of Sachse, Texas this
the 2nd day of December, 2019.

CITY OF SACHSE, TEXAS

Mike J. Felix, Mayor

ATTEST:

Michelle Lewis Sirianni, City Secretary

Exhibit A

Proposed Improvements and Estimated Costs

The improvements include (i) street, roadway and sidewalk improvements, including related drainage, utility relocation, signalization, landscaping, lighting, signage, off-street parking and right-of-way; (ii) water, wastewater and drainage improvements and facilities; (iii) parks, trails and recreational facilities improvements; (iv) projects similar to those listed above authorized by the Act, including similar off-site projects that provide a benefit to the Property within the District; (v) acquisition of real property, interests in real property, or contract rights in connection with each Authorized Improvement; (vi) payment of costs, including, without limitation, design, engineering, permitting, legal, required payment, performance and maintenance bonds, bidding, support, construction, construction management, administrative and inspection costs, associated with developing and financing the public improvements listed in (i) through (v) above; (vii) payment of costs associated with operating and maintaining the public improvements listed in (i) through (v) above; (viii) payment of costs of establishing, administering, and operating the District, as well as the interest, costs of issuance, reserve funds, or credit enhancement of bonds issued for the purposes described in (i) through (vii) above (collectively, the "Authorized Improvements").

The estimated total costs of the Authorized Improvements for the Property for Addition are \$2,006,878, which when added to the \$28,390,976 of estimated costs of the Authorized Improvements approved by the City in the Creation Resolution, results in a total estimated cost of \$30,397,854. The estimated costs of the Authorized Improvements to be assessed against the property in the District are \$23,951,854, in addition to costs of operating and maintaining the Authorized Improvements, the issuance of bonds and establishing, administering and operating the District to be assessed against the property in the District. The City will provide funds in an amount not to exceed \$6,446,000 to pay costs of the Authorized Improvements. The remaining costs of the proposed Authorized Improvements, if any, will be paid from sources other than the City and possibly tax increment reinvestment zone revenues.

Exhibit B-1

LEGAL DESCRIPTION OF THE PROPERTY

BEING a tract of land situated in the Richard Copeland Survey, Abstract No. 228, City of Sachse, Dallas County, Texas and being all of a called 14.933 acres, described in a Special Warranty Deed to Sachse Medical Center, LLC, recorded in Instrument No. 201400065513 of the Official Public Records of Dallas County, Texas, and being more particularly described as follows:

BEGINNING at a 5/8 inch iron rod with red plastic cap stamped "KHA" set for the southeast corner of said 14.933 acre tract, said corner being in the west line of that tract of land described in a Special Warranty Deed to Batsu Enterprises, recorded in Volume 91249, Page 4515 of the Deed Records of Dallas County, Texas, and in the north right-of-way line of President George Bush Turnpike, a 350 foot wide right-of-way, said corner also being at the beginning of a non-tangent curve to the left;

THENCE, along the south line of said 14.933 acre tract and the north right-of-way line of said President George Bush Turnpike, the following courses and distances:

Southwesterly, along said non-tangent curve to the left through a central angle of 02°26'08", having a radius of 7815.00 feet, a chord bearing of South 80°58'58" West, a chord distance of 332.18 feet and an arc length of 332.20 feet to a concrete monument with brass disk found for corner at the end of said curve;

South 79°45'54" West, a distance of 343.41 feet to the most southerly southwest corner of said 14.933 acre tract, said corner being in the northeast line of a called 51.724 acre tract of land described in a Warranty Deed to The Trull Foundation, recorded in Volume 94077, Page 2599 of the Deed Records of Dallas County, Texas, from which, a 5/8 inch iron rod with plastic cap stamped "WAI" found for witness bears North 73°54' East, 0.6 feet;

THENCE North 38°00'53" West, departing the north right-of-way line of said President George Bush Turnpike, and along the southwest line of said 14.933 acre tract and the northeast line of said 51.724 acre tract and the northeast line of Tract Two, called 0.5384 acre, as described in a General Warranty Deed to The Trull Foundation, recorded in Volume 96158, Page 6025 of the Deed Records of Dallas County, Texas, a distance of 435.20 feet to a 5/8 inch iron rod with red plastic cap stamped "KHA" set for the most westerly southwest corner of said 14.933 acre tract, said corner being in the east right-of-way line of Miles Road, a 100 foot wide right-of-way at this point, and also being at the beginning of a non-tangent curve to the left;

THENCE, along the west line of said 14.933 acre tract and the east right-of-way line of said Miles Road, the following courses and distances:

Northeasterly, along said non-tangent curve to the left through a central angle of 08°21'44", having a radius of 1550.00 feet, a chord bearing of North 03°08'21" East, a chord distance of 226.02 feet and an arc length of 226.22 feet to a 5/8 inch iron rod with red plastic cap stamped "KHA" set for corner at the end of said curve;

North 01°02'31" West, a distance of 142.90 feet to the northwest corner of said 14.933 acre tract, common to the southwest corner of a called 8.709 acres, as described in a Special Warranty Deed, recorded in Instrument No. 201800267365 of the Official Public Records of Dallas County, Texas, from which, a 5/8 inch iron rod with plastic cap stamped "TNP" found for witness bears North 41°40' East, 0.3 feet;

THENCE departing the east right-of-way line of said Miles Road, along the common line of said 14.933 acre tract and said 8.709 acre tract, the following courses and distances:

South 46°17'27" East, a distance of 32.97 feet to a 5/8 inch iron rod with red plastic stamped "TNP" found for corner;

North 88°57'30" East, a distance of 100.58 feet to the beginning of a tangent curve to the left, from which, a 5/8 inch iron rod with plastic cap stamped "TNP" found for witness bears North 45°49' East, 0.2 feet;

Northeasterly, along said tangent curve to the left through a central angle of 45°57'00", having a radius of 755.00 feet, a chord bearing of North 65°59'01" East, a chord distance of 589.40 feet and an arc length of 605.49 feet to the end of said curve, from which, a 5/8 inch iron rod with plastic cap stamped "TNP" found for witness bears North 69°15' East, 0.3 feet;

North 43°00'31" East, a distance of 87.64 feet to a 5/8 inch iron rod with red plastic cap stamped "KHA" set for corner at the beginning of a tangent curve to the right, from which, a 5/8 inch iron rod with plastic cap stamped "TNP" found for witness bears North 68°18' East, 0.3 feet;

Northeasterly, along said tangent curve to the right through a central angle of 16°00'32", having a radius of 555.00 feet, a chord bearing of North 51°00'47" East, a chord distance of 154.57 feet and an arc length of 155.07 feet to a 5/8 inch iron rod with red plastic stamped "KHA" set for the northeast corner of said 14.933 acre tract at the end of said curve, said point being in the west line of aforesaid Batsu Enterprises tract, from which a 1/2 inch iron rod found for the most northerly northwest corner of said Batsu Enterprises tract and the most westerly southwest corner of a called 26.04 acre tract of land described in a Special Warranty Deed to the City of Sachse, recorded in Volume 94150, Page 6284 of the Deed Records of Dallas County, Texas, bears North 05°00'48" West a distance of 63.83 feet;

THENCE, along the east line of said 14.933 acre tract and the west line of said Batsu Enterprises tract, the following courses and distances:

South 05°00'48" East, a distance of 550.69 feet to a point for corner, from which, a 1/2 inch iron rod found for witness bears South 58°28' East, 0.5 feet;

South 04°26'52" East, a distance of 431.33 feet to the POINT OF BEGINNING and containing 14.933 acres (650,474 square feet) of land, more or less.

Exhibit B-2

REVISED BOUNDARIES OF THE DISTRICT

170.686 ACRES

LEGAL DESCRIPTION - Tract 1: 131.965 ACRES

BEING a tract of land situated in the Richard Copeland Survey, Abstract No. 228, the McKinney and Williams Survey, Abstract No. 1000, and the Zach Motley survey, abstract No. 1009 also being a portion of a 78.13-acre tract of land and a 33.63 acre tract described by deed to Children's Medical Center Foundation recorded in Instrument Number 201200202382 of the Official Public Records of Dallas County, Texas, all of a tract of land described by deed to Maurice McClain recorded in Volume 172, Page 96 of the Deed Records of Dallas County, Texas, all of a tract of land to the City of Sachse as recorded in Instrument Number 201700347810 of the Official Public Records of Dallas County, Texas, a portion of a tract of land described by deed to Maurice L. McClain recorded in Volume 8006, Page 1624 of the Deed Records of Dallas County, Texas, a portion of a tract of land described by deed to Donald K. McClain as recorded in Volume 73241, Page 1588 of the Deed Records of Dallas County, Texas, and a portion of a tract of land described by deed to the City of Sachse as recorded in Volume 94150, Page 6284 and Volume 98121, Page 6186 of the Deed Records of Dallas County, Texas, and being more particularly described as follows:

BEGINNING at a 1/2-inch iron rod found for the northeast corner of said 78.13-acre tract to Children's Medical Center Foundation, also lying on the west line of Merritt Road, a variable width right-of-way;

THENCE South 00 degrees 14 minutes 29 seconds West, a distance of 265.43 feet to a 1/2-inch iron rod with cap stamped "HALFF" found for corner;

THENCE South 00 degrees 17 minutes 44 seconds East, a distance of 749.92 feet to a point for corner;

THENCE South 89 degrees 49 minutes 07 seconds West, a distance of 19.40 feet to a point for corner;

THENCE South 00 degrees 58 minutes 54 seconds East, a distance of 166.49 feet to a point for corner;

THENCE South 87 degrees 23 minutes 36 seconds West, a distance of 8.33 feet to a point for corner;

THENCE South 00 degrees 30 minutes 05 seconds East, a distance of 325.91 feet to a point for corner;

THENCE South 01 degrees 26 minutes 08 seconds East, a distance of 310.38 feet to a point for corner;

THENCE South 84 degrees 19 minutes 28 seconds West, a distance of 5.28 feet to a point for corner;

THENCE South 00 degrees 38 minutes 08 seconds East, a distance of 233.16 feet to a point for corner;

THENCE South 46 degrees 54 minutes 32 seconds West, a distance of 52.21 feet to a point for corner at the beginning of a curve to the left;

THENCE with said curve to the left having a radius of 7815.00 feet, a central angle of 08 degrees 03 minutes 10 seconds, an arc length of 1098.38 feet, a chord bearing of North 80 degrees 56 minutes 08 seconds West, a distance of 1097.48 feet point for corner;

THENCE North 85 degrees 45 minutes 34 seconds West, a distance of 59.41 feet to a point for corner at the beginning of a curve to the left;

THENCE with said curve to the left having a radius of 7813.20 feet, a central angle of 06 degrees 03 minutes 12 seconds, an arc length of 825.47 feet, a chord bearing of North 88 degrees 24 minutes 26 seconds West, a distance of 825.09 feet point for corner;

THENCE North 01 degrees 00 minutes 01 seconds West, a distance of 991.09 feet to a point for corner;

THENCE South 88 degrees 53 minutes 13 seconds West, a distance of 919.49 feet to a point for corner;

THENCE South 04 degrees 12 minutes 40 seconds East, a distance of 59.32 feet to a point for corner at the beginning of a curve to the left;

THENCE with said curve to the left having a radius of 555.00 feet, a central angle of 17 degrees 05 minutes 04 seconds, an arc length of 165.49 feet, a chord bearing of South 51 degrees 33 minutes 33 seconds West, a distance of 164.88 feet point for corner;

THENCE South 43 degrees 01 minutes 02 seconds West, a distance of 87.64 feet to a point for corner at the beginning of a curve to the right;

THENCE with said curve to the right having a radius of 755.00 feet, a central angle of 45 degrees 57 minutes 01 seconds, an arc length of 605.50 feet, a chord bearing of South 65 degrees 59 minutes 32 seconds West, a distance of 589.40 feet point for corner;

THENCE South 88 degrees 58 minutes 01 seconds West, a distance of 100.58 feet to a point for corner;

THENCE North 46 degrees 16 minutes 56 seconds West, a distance of 32.97 feet to a point for corner;

THENCE North 01 degrees 04 minutes 22 seconds West, a distance of 309.36 feet to a point for corner;

THENCE North 03 degrees 17 minutes 48 seconds East, a distance of 144.44 feet to a point for corner;

THENCE North 01 degrees 04 minutes 34 seconds West, a distance of 83.55 feet to a point for corner;

THENCE North 88 degrees 43 minutes 23 seconds East, a distance of 836.14 feet to a point for corner;

THENCE North 05 degrees 17 minutes 52 seconds West, a distance of 524.29 feet to a point for corner;

THENCE North 89 degrees 41 minutes 29 seconds East, a distance of 315.73 feet to a point for corner;

THENCE North 02 degrees 40 minutes 19 seconds West, a distance of 556.10 feet to a point for corner;

THENCE North 88 degrees 29 minutes 17 seconds East, a distance of 307.90 feet to a point for corner at the beginning of a curve to the left;

THENCE with said curve to the left having a radius of 530.00 feet, a central angle of 17 degrees 56 minutes 09 seconds, an arc length of 165.91 feet, a chord bearing of North 79 degrees 31 minutes 12 seconds East, a distance of 165.23 feet point for corner;

THENCE North 70 degrees 32 minutes 53 seconds East, a distance of 347.25 feet to a point for corner at the beginning of a curve to the right;

THENCE with said curve to the right having a radius of 538.50 feet, a central angle of 46 degrees 15 minutes 42 seconds, an arc length of 434.79 feet, a chord bearing of South 86 degrees 19 minutes 45 seconds East, a distance of 423.08 feet point for corner;

THENCE North 21 degrees 19 minutes 27 seconds East, a distance of 34.92 feet to a point for corner at the beginning of a curve to the right;

THENCE with said curve to the right having a radius of 573.50 feet, a central angle of 15 degrees 36 minutes 23 seconds, an arc length of 156.21 feet, a chord bearing of South 55 degrees 44 minutes 24 seconds East, a distance of 155.73 feet point for corner at the beginning of a reverse curve to the left;

THENCE with said reverse curve to the left having a radius of 575.00 feet, a central angle of 18 degrees 05 minutes 20 seconds, an arc length of 181.53 feet, a chord bearing of South 56 degrees 58 minutes 52 seconds East, a distance of 180.78 feet point for corner for the beginning of a compound curve to the left;

THENCE with said compound curve continuing to the left having a radius of 2500.00 feet, a central angle of 20 degrees 36 minutes 16 seconds, an arc length of 899.04 feet, a chord bearing of South 76 degrees 19 minutes 40 seconds East, a distance of 894.20 feet point for corner;

THENCE South 69 degrees 16 minutes 05 seconds East, a distance of 110.00 feet to a point for corner;

THENCE South 89 degrees 45 minutes 48 seconds East, a distance of 67.22 feet to a point for corner;

THENCE North 89 degrees 28 minutes 37 seconds East, a distance of 173.94 feet to a to the **POINT OF BEGINNING**, containing 5,748,388 square Feet, or 131.965 acres of land.

LEGAL DESCRIPTION - Tract 2: 3.622 ACRES

BEING a tract of land situated in the Robert McCullough Survey, Abstract No. 928, also being a portion of a called 4.07-acre tract of land described by deed to Children's Medical Center Foundation recorded in Instrument Number 201200202382 of the Official Public Records of Dallas County, Texas, and being more particularly described as follows:

BEGINNING at a 5/8-inch iron rod with cap stamped "W.A.I." found for the northwest corner of a right-of-way dedication to the City of Sachse as recorded in Instrument Number 201100215349 of the Official Public Records of Dallas County, Texas, also lying on the southwest line of said 4.07-acre tract and the northeast line of a tract of land described by deed to The Trull Foundation as recorded in Volume 2001009, Page 575 of the Deed Records of Dallas County, Texas;

THENCE North 38 degrees 21 minutes 45 seconds West, along the common line of said 4.07-acre tract and said Trull Foundation tract, a distance of 326.23 feet to a 5/8 inch iron rod with cap stamped "TNP" set for most westerly corner of said 4.07-acre tract, also lying on the southeast line of Old Miles Road a variable width right-of-way;

THENCE North 36 degrees 49 minutes 36 seconds East, along the southeast line of said Old Miles Road and the northwest line of said 4.07-acre tract, a distance of 564.86 feet to a 1/2 inch iron rod with cap stamped "HALFF" found for the beginning of a curve to the left;

THENCE continuing along the southeast line of said Old Miles Road and the northwest line of said 4.07-acre tract with said curve to the left having a radius of 585.85 feet, a central angle of 03 degrees 53 minutes 34 seconds, an arc length of 39.80 feet, a chord bearing of North 34 degrees 51 minutes 58 seconds East, a

distance of 39.80 feet to a 5/8 inch iron rod with cap stamped "TNP" set for the north corner of said 4.07-acre tract, also lying on the west line of Miles Road a variable width right-of-way;

THENCE South 01 degrees 01 minutes 20 seconds East, along the west line of Miles Road, a distance of 708.15 feet to a 5/8 inch iron rod with cap stamped "TNP" set for the northeast corner of a right-of-way dedication to the City of Sachse as recorded in Instrument Number 201100215349 of the Official Public Records of Dallas County, Texas;

THENCE leaving the west line of said Miles Road along the northerly line of said right-of-way dedication the following courses and distances:

South 43 degrees 28 minutes 06 seconds West, a distance of 39.07 feet to a 5/8 inch iron rod with cap stamped "TNP" set for corner;

South 88 degrees 28 minutes 07 seconds West, a distance of 120.98 feet to a 5/8 inch iron rod with cap stamped "TNP" set for the beginning of a curve to the left;

with said curve to the left having a radius of 845.00 feet, a central angle of 01 degrees 36 minutes 24 seconds, an arc length of 23.69 feet, a chord bearing of South 87 degrees 39 minutes 54 seconds West, a distance of 23.69 feet to the **POINT OF BEGINNING** containing 157,785 Square Feet, or 3.622 Acres of land.

LEGAL DESCRIPTION - Tract 3: 0.153 ACRES

BEING a tract of land situated in the Robert McCullough Survey, Abstract No. 928, also being a portion of a called 4.07-acre tract of land described by deed to Children's Medical Center Foundation recorded in Instrument Number 201200202382 of the Official Public Records of Dallas County, Texas, and being more particularly described as follows:

BEGINNING at a 1/2-inch iron rod with cap stamped "HALFF" found for the southeast corner of said 4.07-acre tract, same being the northeast corner of a tract of land described by deed to The Trull Foundation as recorded in Volume 2001009, Page 575 of the Deed Records of Dallas County, Texas, also lying on the west line of Miles Road a variable width right-of-way;

THENCE North 38 degrees 21 minutes 45 seconds West, along the common line of said 4.07-acre tract and said Trull Foundation tract, a distance of 165.28 feet to a 5/8 inch iron rod with cap stamped "TNP" set for the southwest corner of a right-of-way dedication to the City of Sachse as recorded in Instrument Number 201100215349 of the Official Public Records of Dallas County, Texas;

THENCE North 88 degrees 28 minutes 07 seconds East, along the south line of said right-of-way dedication, a distance of 77.52 feet to a 5/8 inch iron rod with cap stamped "TNP" set for a corner clip of same;

THENCE South 46 degrees 31 minutes 54 seconds East, continuing along said right-of-way dedication, a distance of 37.26 feet to a 5/8 inch iron rod with cap stamped "TNP" set for corner lying on the west line of the aforementioned Miles Road;

THENCE South 01 degrees 01 minutes 20 seconds East, along the west line of said Miles Road, a distance of 2.71 feet to a 5/8 inch iron rod with cap stamped "TNP" set for the beginning of a curve to the right;

THENCE continuing along the east line of said Miles Road with said curve to the right having a radius of 1450.00 feet, a central angle of 04 degrees 05 minutes 05 seconds, an arc length of 103.38 feet, a chord bearing

of South 01 degrees 06 minutes 22 seconds West, a distance of 103.35 feet to the **POINT OF BEGINNING**, containing 6,655 Square Feet, or 0.153 Acre.

LEGAL DESCRIPTION - Tract 4: 8.747 ACRES

BEING a tract of land situated in the Richard Copeland Survey, abstract No. 228, also being all of an 8.68-acre tract of land described by deed to Children's Medical Center Foundation recorded in Instrument Number 201200202382 of the Official Public Records of Dallas County, Texas, and being more particularly described as follows:

BEGINNING at a 1/2-inch iron rod with cap stamped "WAI" found for the northwest corner of said 8.68-acre tract also lying on the south line of President George Bush Turnpike, a called 350.00 feet wide right-of-way;

THENCE North 79 degrees 45 minutes 22 seconds East, along the south line of said President George Bush Turnpike, a distance of 218.91 feet to a 5/8 inch iron rod with cap stamped "TNP" set for the beginning of a non-tangent curve to the right;

THENCE continuing along the south line of said President George Bush Turnpike with said curve to the right having a radius of 7465.00 feet, a central angle of 02 degrees 19 minutes 19 seconds, an arc length of 302.51 feet, a chord bearing of North 80 degrees 55 minutes 01 seconds East, a distance of 302.49 feet to a 5/8 inch iron rod found for the northeast corner of said 8.68 acre tract, also lying on the westerly line of a tract of land described by deed to Batsu Enterprises recorded in Volume 91249, Page 4515 of the Deed Records of Dallas County, Texas;

THENCE along the common line of said 8.68-acre tract and said Batsu Enterprises tract the following courses and distances:

South 05 degrees 29 minutes 08 seconds East, a distance of 202.09 feet to a 1/2 inch iron rod found for corner;

North 89 degrees 33 minutes 14 seconds East, a distance of 196.48 feet to 5/8 inch iron rod with cap stamped "JBI" found for corner;

South 04 degrees 09 minutes 28 seconds East, a distance of 416.53 feet to a 5/8 inch iron rod with cap stamped "JBI" found for the southeast corner of said 8.68 acre tract and the southwest corner of said Batsu Enterprises tract, also lying on the north line of Pleasant Valley road, a variable width right-of-way;

THENCE South 89 degrees 50 minutes 57 seconds West, along the north line of said Pleasant Valley Road, a distance of 712.69 feet to a 5/8-inch iron rod with cap stamped "JBI" found for the southwest corner of said 8.68-acre tract;

THENCE North 05 degrees 17 minutes 07 seconds West, along the west line of said 8.68-acre tract, a distance of 277.26 feet to a 1/2-inch iron rod found for an angle point in same for corner;

THENCE North 04 degrees 55 minutes 13 seconds West, continuing along the west line of said 8.68-acre tract, a distance of 255.12 feet to the **POINT OF BEGINNING**, containing 381,007 Square Feet, or 8.747 Acres of land.

LEGAL DESCRIPTION - Tract 5: 11.266 ACRES

BEING a tract of land situated in the Richard Copeland Survey, abstract No. 228, also being all of a 11.27-acre tract of land described by deed to Children's Medical Center Foundation recorded in Instrument Number

201200202382 of the Official Public Records of Dallas County, Texas, and being more particularly described as follows:

BEGINNING at a T.X.D.O.T. aluminum cap stamped "2655" found for the northeast corner of said 11.27-acre tract also lying at the intersection of the west line of Pleasant Valley Road, a variable width right-of-way with the south line of President George Bush Turnpike, a called 350.00 feet wide right-of-way;

THENCE along the common line of said 11.27-acre tract and said Pleasant Valley Road the following courses and distances:

South 00 degrees 23 minutes 36 seconds East, a distance of 255.19 feet to a 5/8-inch iron rod with cap stamped "TNP" set for the beginning of a curve to the right;

with said curve to the right having a radius of 311.06 feet, a central angle of 76 degrees 44 minutes 04 seconds, an arc length of 416.59 feet, a chord bearing of South 37 degrees 58 minutes 24 seconds West, a distance of 386.15 feet to a 1/2-inch iron rod with cap stamped "HALFF" found for corner;

South 76 degrees 28 minutes 32 seconds West, a distance of 320.80 feet to 1/2-inch iron rod with cap stamped "HALFF" found for the beginning of a curve to the right;

with said curve to the right having a radius of 707.53 feet, a central angle of 13 degrees 35 minutes 53 seconds, an arc length of 167.92 feet, a chord bearing of South 83 degrees 01 minutes 55 seconds West, a distance of 167.53 feet 1/2-inch iron rod with cap stamped "HALFF" found for corner;

North 89 degrees 46 minutes 07 seconds West, a distance of 96.34 feet to 1/2-inch iron rod with cap stamped "JBI" found for the southwest corner of said 11.27-acre tract, also lying on the east line of a tract of land described by deed to the City of Sachse recorded in Volume 94150, Page 6284 of the Deed Records of Dallas County, Texas;

THENCE North 00 degrees 55 minutes 31 seconds West, along the common line of said 11.27-acre tract and said City of Sachse tract, a distance of 678.28 feet to 1/2-inch iron rod with cap stamped "WAI" found for the northwest corner of said 11.27-acre tract, also lying on the south line of the aforementioned President George Bush Turnpike, also for the beginning of a non-tangent curve to the right;

THENCE along the south line of said President George Bush Turnpike with said curve to the right having a radius of 7465.00 feet, a central angle of 06 degrees 18 minutes 35 seconds, an arc length of 822.09 feet, a chord bearing of South 88 degrees 21 minutes 02 seconds East, a distance of 821.67 feet to the **POINT OF BEGINNING**, containing 490,729 Square Feet, or 11.266 Acres of land.

LEGAL DESCRIPTION - Tract 6: 14.933 ACRES

BEING a tract of land situated in the Richard Copeland Survey, Abstract No. 228, City of Sachse, Dallas County, Texas and being all of a called 14.933 acres, described in a Special Warranty Deed to Sachse Medical Center, LLC, recorded in Instrument No. 201400065513 of the Official Public Records of Dallas County, Texas, and being more particularly described as follows:

BEGINNING at a 5/8 inch iron rod with red plastic cap stamped "KHA" set for the southeast corner of said 14.933 acre tract, said corner being in the west line of that tract of land described in a Special Warranty Deed to Batsu Enterprises, recorded in Volume 91249, Page 4515 of the Deed Records of Dallas County, Texas, and

in the north right-of-way line of President George Bush Turnpike, a 350 foot wide right-of-way, said corner also being at the beginning of a non-tangent curve to the left;

THENCE, along the south line of said 14.933 acre tract and the north right-of-way line of said President George Bush Turnpike, the following courses and distances:

Southwesterly, along said non-tangent curve to the left through a central angle of $02^{\circ}26'08''$, having a radius of 7815.00 feet, a chord bearing of South $80^{\circ}58'58''$ West, a chord distance of 332.18 feet and an arc length of 332.20 feet to a concrete monument with brass disk found for corner at the end of said curve;

South $79^{\circ}45'54''$ West, a distance of 343.41 feet to the most southerly southwest corner of said 14.933 acre tract, said corner being in the northeast line of a called 51.724 acre tract of land described in a Warranty Deed to The Trull Foundation, recorded in Volume 94077, Page 2599 of the Deed Records of Dallas County, Texas, from which, a 5/8 inch iron rod with plastic cap stamped "WAI" found for witness bears North $73^{\circ}54'$ East, 0.6 feet;

THENCE North $38^{\circ}00'53''$ West, departing the north right-of-way line of said President George Bush Turnpike, and along the southwest line of said 14.933 acre tract and the northeast line of said 51.724 acre tract and the northeast line of Tract Two, called 0.5384 acre, as described in a General Warranty Deed to The Trull Foundation, recorded in Volume 96158, Page 6025 of the Deed Records of Dallas County, Texas, a distance of 435.20 feet to a 5/8 inch iron rod with red plastic cap stamped "KHA" set for the most westerly southwest corner of said 14.933 acre tract, said corner being in the east right-of-way line of Miles Road, a 100 foot wide right-of-way at this point, and also being at the beginning of a non-tangent curve to the left;

THENCE, along the west line of said 14.933 acre tract and the east right-of-way line of said Miles Road, the following courses and distances:

Northeasterly, along said non-tangent curve to the left through a central angle of $08^{\circ}21'44''$, having a radius of 1550.00 feet, a chord bearing of North $03^{\circ}08'21''$ East, a chord distance of 226.02 feet and an arc length of 226.22 feet to a 5/8 inch iron rod with red plastic cap stamped "KHA" set for corner at the end of said curve;

North $01^{\circ}02'31''$ West, a distance of 142.90 feet to the northwest corner of said 14.933 acre tract, common to the southwest corner of a called 8.709 acres, as described in a Special Warranty Deed, recorded in Instrument No. 201800267365 of the Official Public Records of Dallas County, Texas, from which, a 5/8 inch iron rod with plastic cap stamped "TNP" found for witness bears North $41^{\circ}40'$ East, 0.3 feet;

THENCE departing the east right-of-way line of said Miles Road, along the common line of said 14.933 acre tract and said 8.709 acre tract, the following courses and distances:

South $46^{\circ}17'27''$ East, a distance of 32.97 feet to a 5/8 inch iron rod with red plastic stamped "TNP" found for corner;

North $88^{\circ}57'30''$ East, a distance of 100.58 feet to the beginning of a tangent curve to the left, from which, a 5/8 inch iron rod with plastic cap stamped "TNP" found for witness bears North $45^{\circ}49'$ East, 0.2 feet;

Northeasterly, along said tangent curve to the left through a central angle of $45^{\circ}57'00''$, having a radius of 755.00 feet, a chord bearing of North $65^{\circ}59'01''$ East, a chord distance of 589.40 feet and an arc length of 605.49 feet to the end of said curve, from which, a 5/8 inch iron rod with plastic cap stamped "TNP" found for witness bears North $69^{\circ}15'$ East, 0.3 feet;

North 43°00'31" East, a distance of 87.64 feet to a 5/8 inch iron rod with red plastic cap stamped "KHA" set for corner at the beginning of a tangent curve to the right, from which, a 5/8 inch iron rod with plastic cap stamped "TNP" found for witness bears North 68°18' East, 0.3 feet;

Northeasterly, along said tangent curve to the right through a central angle of 16°00'32", having a radius of 555.00 feet, a chord bearing of North 51°00'47" East, a chord distance of 154.57 feet and an arc length of 155.07 feet to a 5/8 inch iron rod with red plastic stamped "KHA" set for the northeast corner of said 14.933 acre tract at the end of said curve, said point being in the west line of aforesaid Batsu Enterprises tract, from which a 1/2 inch iron rod found for the most northerly northwest corner of said Batsu Enterprises tract and the most westerly southwest corner of a called 26.04 acre tract of land described in a Special Warranty Deed to the City of Sachse, recorded in Volume 94150, Page 6284 of the Deed Records of Dallas County, Texas, bears North 05°00'48" West a distance of 63.83 feet;

THENCE, along the east line of said 14.933 acre tract and the west line of said Batsu Enterprises tract, the following courses and distances:

South 05°00'48" East, a distance of 550.69 feet to a point for corner, from which, a 1/2 inch iron rod found for witness bears South 58°28' East, 0.5 feet;

South 04°26'52" East, a distance of 431.33 feet to the POINT OF BEGINNING and containing 14.933 acres (650,474 square feet) of land, more or less.



Agenda Item Details

Meeting	Dec 02, 2019 - Regular Combined City Council Meeting
Category	F. Regular Agenda Items
Subject	2. Consider and act on a request by Batsu Enterprises for major and minor modifications to the PGBT Zoning District standards for a site civil plan relating to the development of 19.607± acres out of the Richard Copeland Survey, Abst. No. 228, City of Sachse, Dallas County, Texas, generally located north of the westbound PGBT Frontage Road between Miles Road and Merritt Road
Access	Public
Type	Action, Discussion, Information
Fiscal Impact	No
Budgeted	No
Recommended Action	Staff recommends denial of the proposed major modifications and site civil plan.

Public Content

BACKGROUND

- Applicant: Batsu Enterprises
- Size: 19.607 acres (approximately 10.325 acres in initial development)
- Proposal: A site plan for a two-story, 32-bed hospital that is approximately 80,000 square feet in size

OVERVIEW

- Typically, site civil plans are approved at the staff level, however the applicant is proposing major and minor modifications to the PGBT Zoning standards that necessitate action by the City
- This item is being presented in conjunction with the next item on the agenda, the preliminary plat for Trinity Regional Hospital. Plat approval will be dependent upon approval of the major modifications associated with the site civil plan.
- The proposed site civil plan for the hospital proposes nine (9) major modifications and one (1) minor modification to the sections listed below:
 - Section 14.6.A.2 Block face dimensions (400 foot maximum block face);
 - Section 14.6.A.2 Block perimeter dimensions (1600 foot maximum block perimeter);
 - Section 14.6.A.1 Building setback (front of building is required to be setback within 5-20' along a Type A Street – Bunker Hill Road);
 - Section 14.6.A.1 Building frontage (70% of the building frontage required to be within setback range of 5-20');
 - Section 14.6.A.5 Driveways and off-street loading (shall not be located on Type A Streets – Bunker Hill Road);
 - Section 14.8.D General Street standard (52' right-of-way to include two travel lanes, parallel parking, sidewalks and street trees);
 - Section 14.6.A.5 Parking location (shall be located behind principal building; or on the side if no more than one double-loaded bay);
 - Section 14.6.A.8 Notes (On Type A streets, the area between the building and edge of the street at the public sidewalk shall be paved flush);
 - Section 14.6.A.4 Commercial frontage (ground floors of all buildings fronting Type A streets shall be built to retail-ready standards, including first floor to floor height, ingress and egress, handicap access, and first floor elevation flush with sidewalk);
 - Section 14.6.A.5 Required off-street parking spaces (required 1 space per 300 square feet).

POLICY

- Policy considerations related to:
 - Elimination of required block breaks and street connectivity;
 - Building location and street frontage;
 - Street standards;
 - Driveways, service areas and parking locations.

RECOMMENDATION

- Staff recommends denial of the requested major modifications and accompanying site civil plan due to conflicts with the principles and vision of the Comprehensive Plan and overall non-conformance with the intent of the PGBT Zoning district development standards.
- At its November 25, 2019 Regular Meeting, the Planning & Zoning Commission voted 3-2 to recommend approval of the major modifications and site plan with the stipulations that sidewalks be provided through the site on the north and south side of the Hospital building and that all other outstanding staff comments be addressed.

Proposed - TRH Sachse Site Plan.pdf (1,357 KB)

Staff Presentation Trinity Hospital.pdf (1,577 KB)

Resolution Granting Major and Minor Modifications PGBT District (Trinity Regional Hospital).pdf (768 KB)

Trinity Regional Hospital

CITY COUNCIL

DECEMBER 2, 2019



Background

Consider and act on a request by Batsu Enterprises for major and minor modifications to the PGBT Zoning District Standards for a site civil plan relating to the development of 19.607± acres out of the Richard Copeland Survey, Abst. No. 228, City of Sachse, Dallas County, Texas, generally located north of the west bound PGBT Frontage Road between Miles Road and Merritt Road.



Overview

- The subject property is located on the north side of President George Bush Turnpike (PGBT) between Miles Road and Merritt Road.
 - The subject property is currently zoned PGBT – Turnpike Commercial and Turnpike Mixed-Use.
 - The applicant is seeking to subdivide the property into two lots and develop the property for a hospital and future medical office buildings.
 - The site civil plan item is being presented in conjunction with the preliminary plat.
- 

Aerial Map

The subject property is located on the north side of President George Bush Turnpike (PGBT) between Miles Road and Merritt Road.



Comprehensive Plan

- The City of Sachse's Comprehensive Plan is a policy document that establishes the community's vision and long-term goals to reinforce the authentic reinvention of neighborhoods and quality tax base.
- The PGBT Corridor is one of three catalytic areas identified in the comprehensive plan designed to serve as a key opportunity for creating a sustainable economic future for the community.
- Key implementation principles for the PGBT Corridor:
 - *Focus on creating a sense of place and arrival with high quality development;*
 - *Flexible, market-based approach to determining the highest and best mix of uses to allow for longer term, but higher intensity and higher value development should be emphasized over short-term suburban, single-use development;*
 - *Encourage a "master developer" context over the different ownership interests by requiring continuity and consistency of the street and open space network to achieve an interconnected network of streets and blocks that allows for a range of development opportunities and transportation modes;*
 - *Well-designed transitions to new and existing neighborhoods to preserve their character and integrity in terms of scale, street character, pedestrian convenience, and similar attributes.*

Comprehensive Plan – Catalytic Scenarios

PGBT RETAIL ORIENTED SCENARIO USE CONCEPT



PGBT CAMPUS COMMERCIAL SCENARIO USE CONCEPT



PGBT TRADITIONAL RETAIL + MEDICAL SCENARIO USE CONCEPT



PGBT CATALYTIC SCENARIO COMPARISON

	Catalytic Scenario #1		Catalytic Scenario #2		Catalytic Scenario #3	
	2025	2035	2025	2035	2025	2035
Retail	833,700 SF	833,700 SF	333,700 SF	333,700 SF	890,900 SF	890,900 SF
Office	377,960 SF	627,400 SF	832,267 SF	1,840,033 SF	175,800 SF	293,000 SF
Industrial	-	-	114,133 SF	214,000 SF	-	-
Medical	-	-	-	-	390,000 SF	390,000 SF
Hospitality	549,000 SF	549,000 SF	240,000 SF	240,000 SF	-	-
Single Family	241 Units	241 Units	-	-	-	-
Multifamily	1398 Units	2,330 Units	1819 Units	1819 Units	459 Units	559 Units
Total Value	\$685,636,402	\$1,206,814,402	\$620,357,288	\$1,250,697,864	\$365,579,122	\$542,422,840
Revenue	\$15,026,863	\$21,201,921	\$9,302,790	\$15,421,980	\$9,617,794	\$13,110,921
Costs	\$3,668,142	\$4,568,188	\$3,165,612	\$3,687,631	\$2,793,848	\$2,994,081
Surplus/Deficit	\$11,358,722	\$16,633,732	\$6,137,177	\$11,734,349	\$6,823,946	\$10,116,840

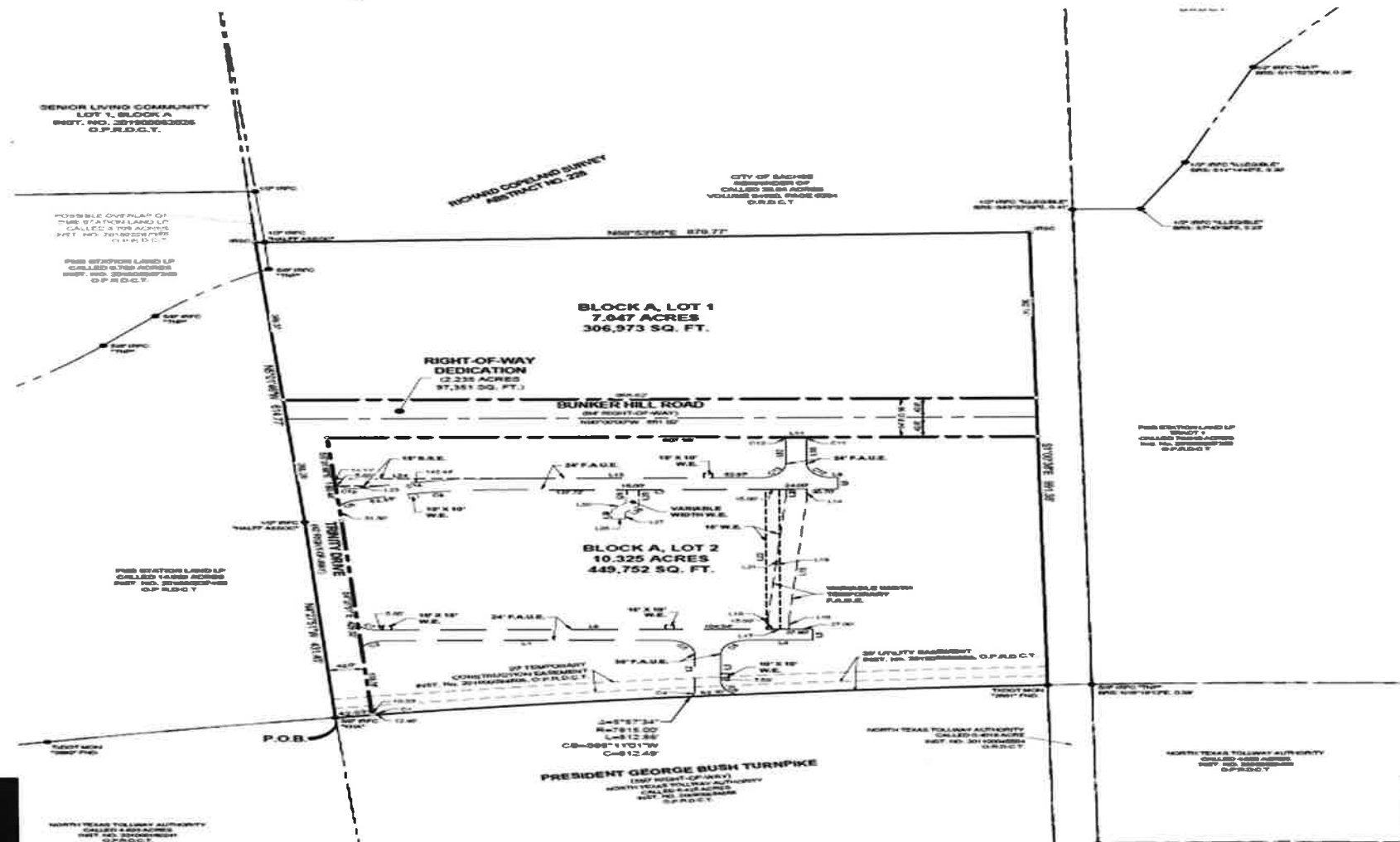
PGBT Zoning District

Purpose and Intent:

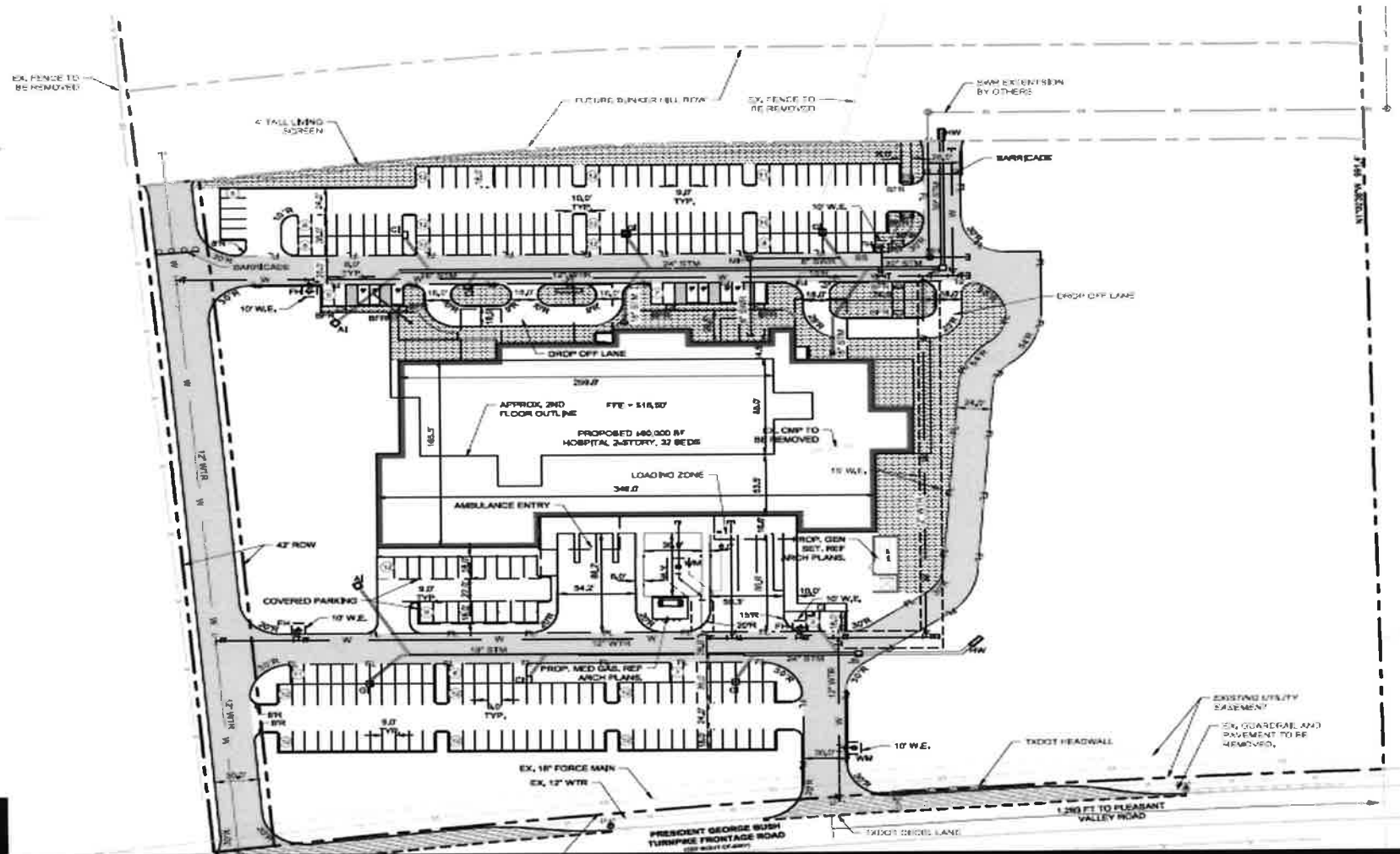
To facilitate the development of the PGBT area into a walkable, mixed-use environment with shopping, employment, housing and regional retail services. Development within this district shall implement the vision adopted in the comprehensive plan, adopted March 2017. The prescribed character areas within the district facilitate a variety of development types to meet the preferences of the market and to be responsive to development innovations. The purpose of the district is to advance development; promote sustainable land use patterns; protect Sachse's long-range tax base; encourage pedestrian activity; and support an attractive community.



Preliminary Plat



Site Plan

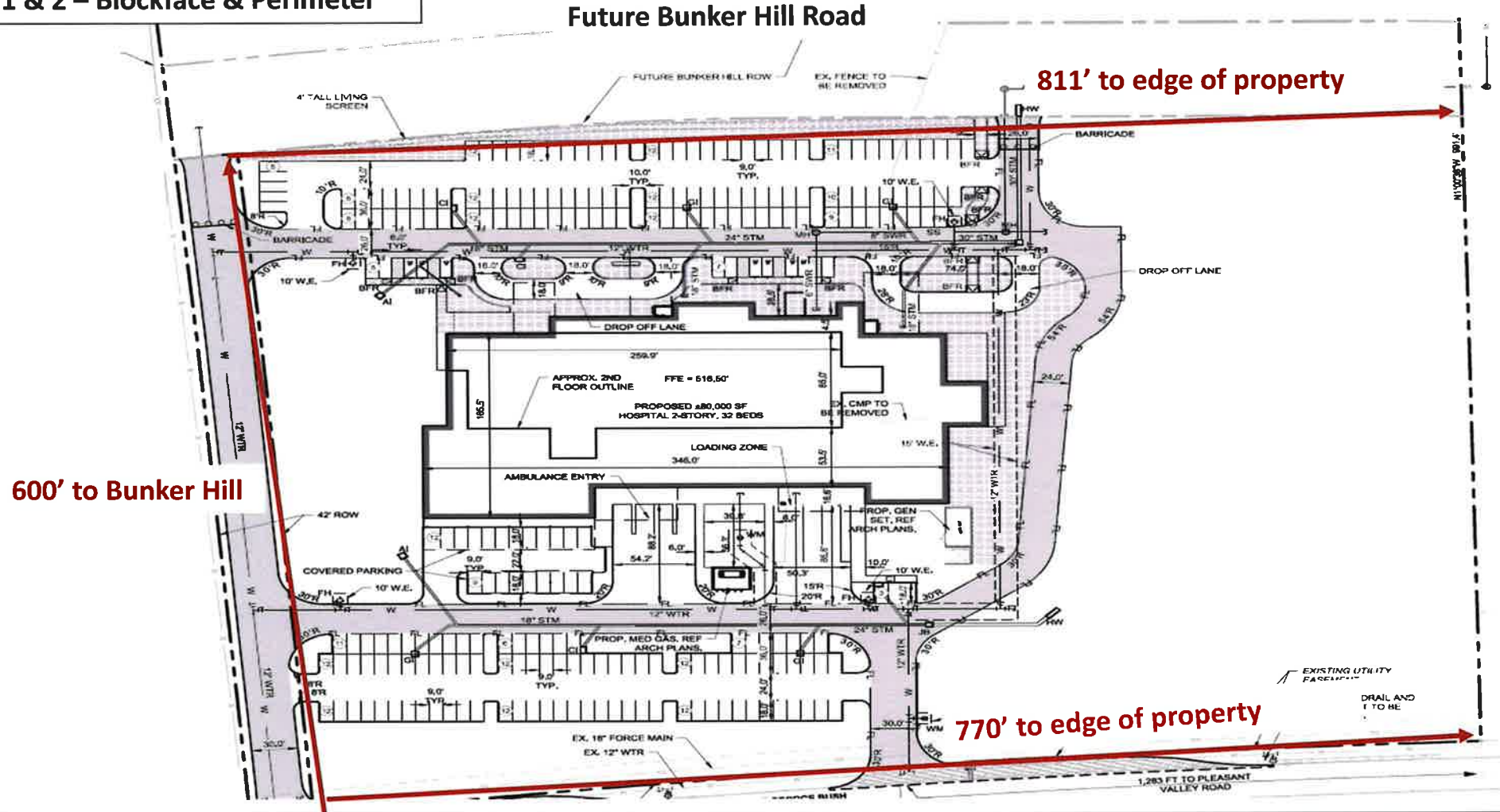


Major Modifications

1. **Block face dimensions (400' maximum block face)**
2. **Block perimeter (1,600' maximum block perimeter)**
3. **Building setback requirement of 5' – 20' along Type A Street (Bunker Hill)**
4. **70% of building frontage required to be within setback range of 5' – 20'**
5. **Driveways and off-street loading shall not be located on Type A Streets (Bunker Hill)**
6. **General Street standard of 52' (to include two travel lanes, parallel parking, sidewalks and street trees)**
7. **Parking shall be located behind principal building**
8. **Area between edge of Type A Street and building edge at public sidewalk shall be paved flush**
9. **Ground floor of non-residential buildings built to retail-ready standard (i.e. ingress/egress, flush with public sidewalk, first floor-floor height etc.)**
10. **Required off-street parking spaces is 1 space per 300 sf ***

*Qualifies as minor modification

1 & 2 – Blockface & Perimeter



1 & 2 – Blockface & Perimeter

Future Bunker Hill Road

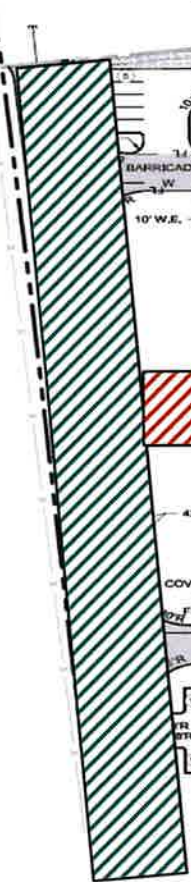
BE REMOVED

SWR EXTENSION
BY OTHERS

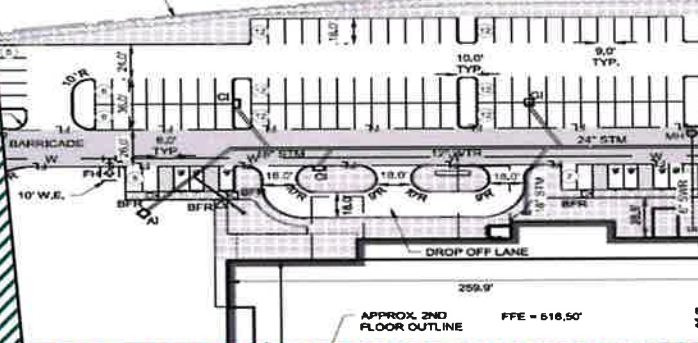
BARRICADE

Additional Required
Streets to break
block face/perimeter

Proposed
Street



4" TALL LIVING
SCREEN



APPROX. 2ND
FLOOR OUTLINE
FFE = 516,50'

42' ROW

COVERED PARKING

AMBULANCE ENTRY

EX. 18" FORCE MAIN
EX. 12" WTR

GEN
REF
ANS.

10' W.E.

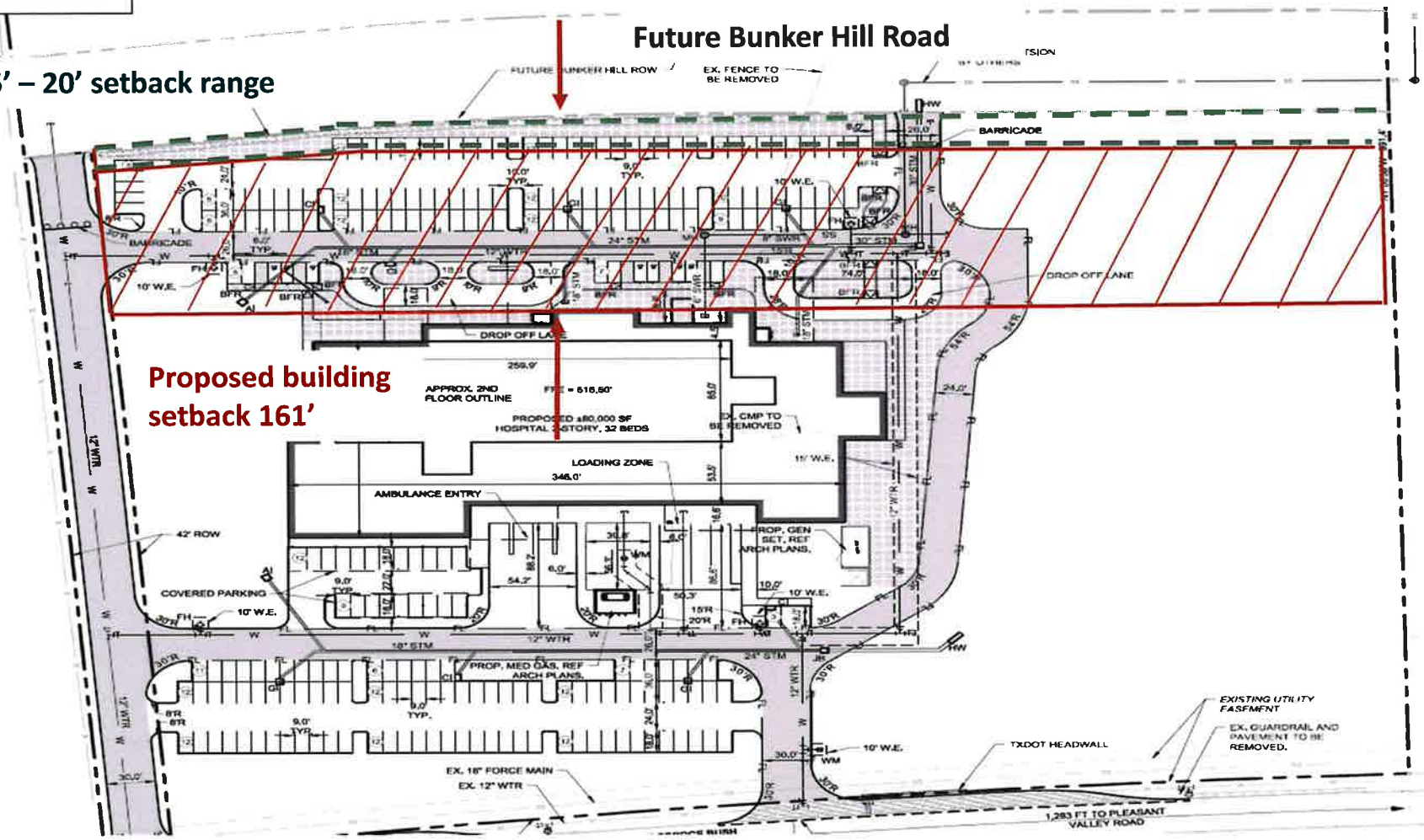
EXISTING UTILITY
EASEMENT

EX. GUARDRAIL AND
PAVEMENT TO BE
REMOVED.

TXDOT HEADWALL
1,263 FT TO PLEASANT
VALLEY ROAD

3 – Building Setback

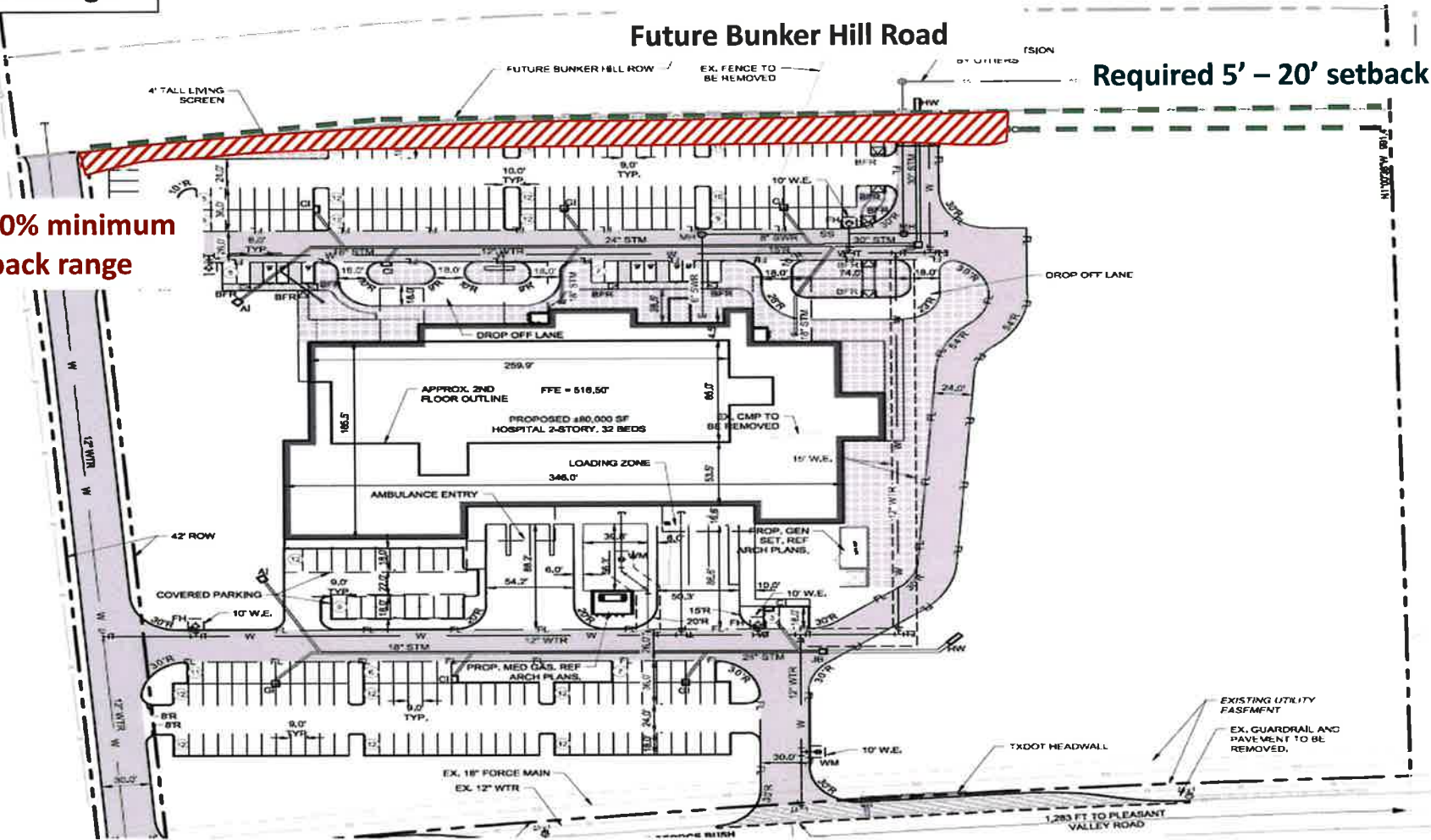
Required 5' – 20' setback range



4 – Building Frontage

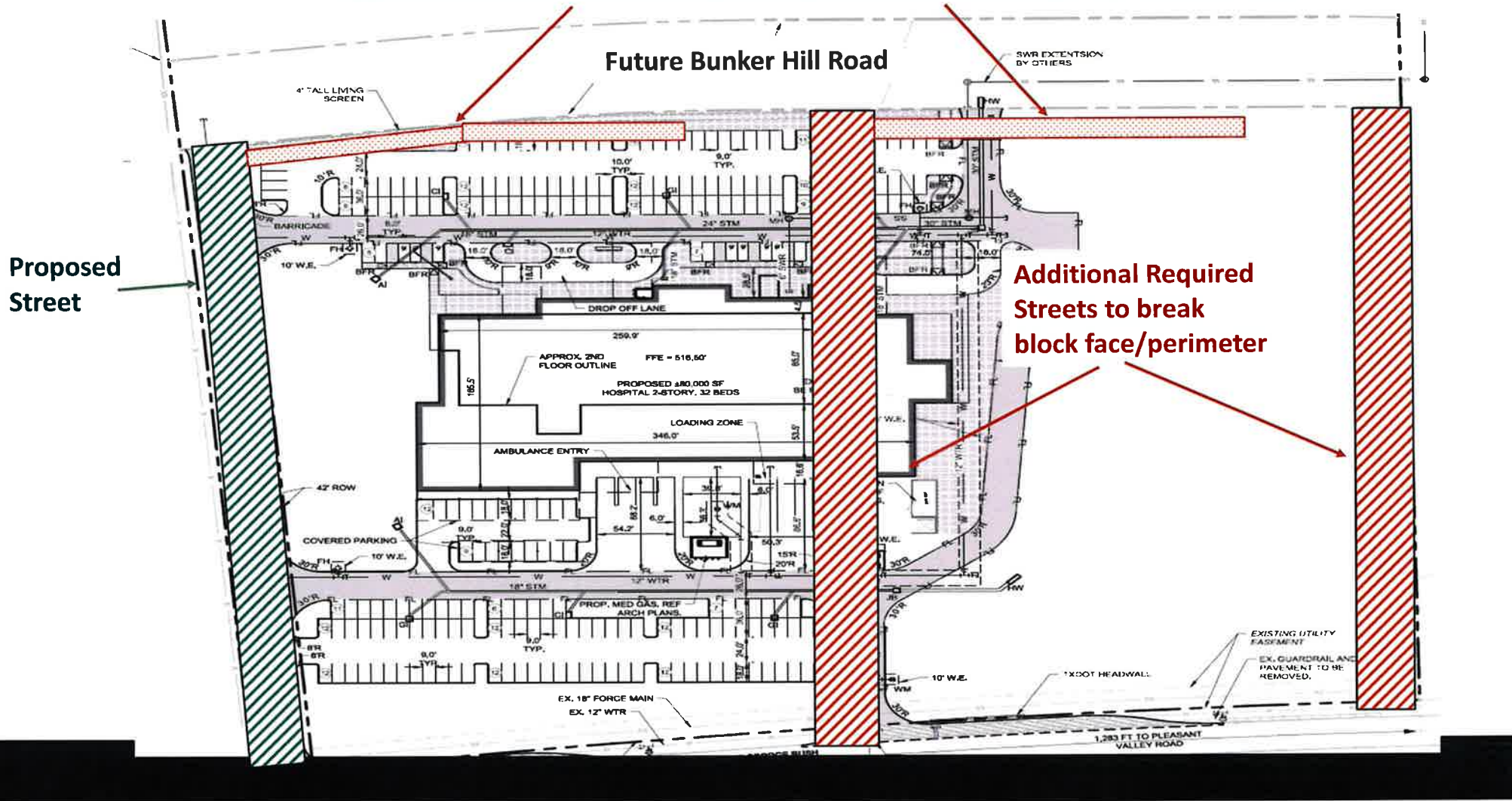
Required 70% minimum
within setback range

Required 5' – 20' setback range

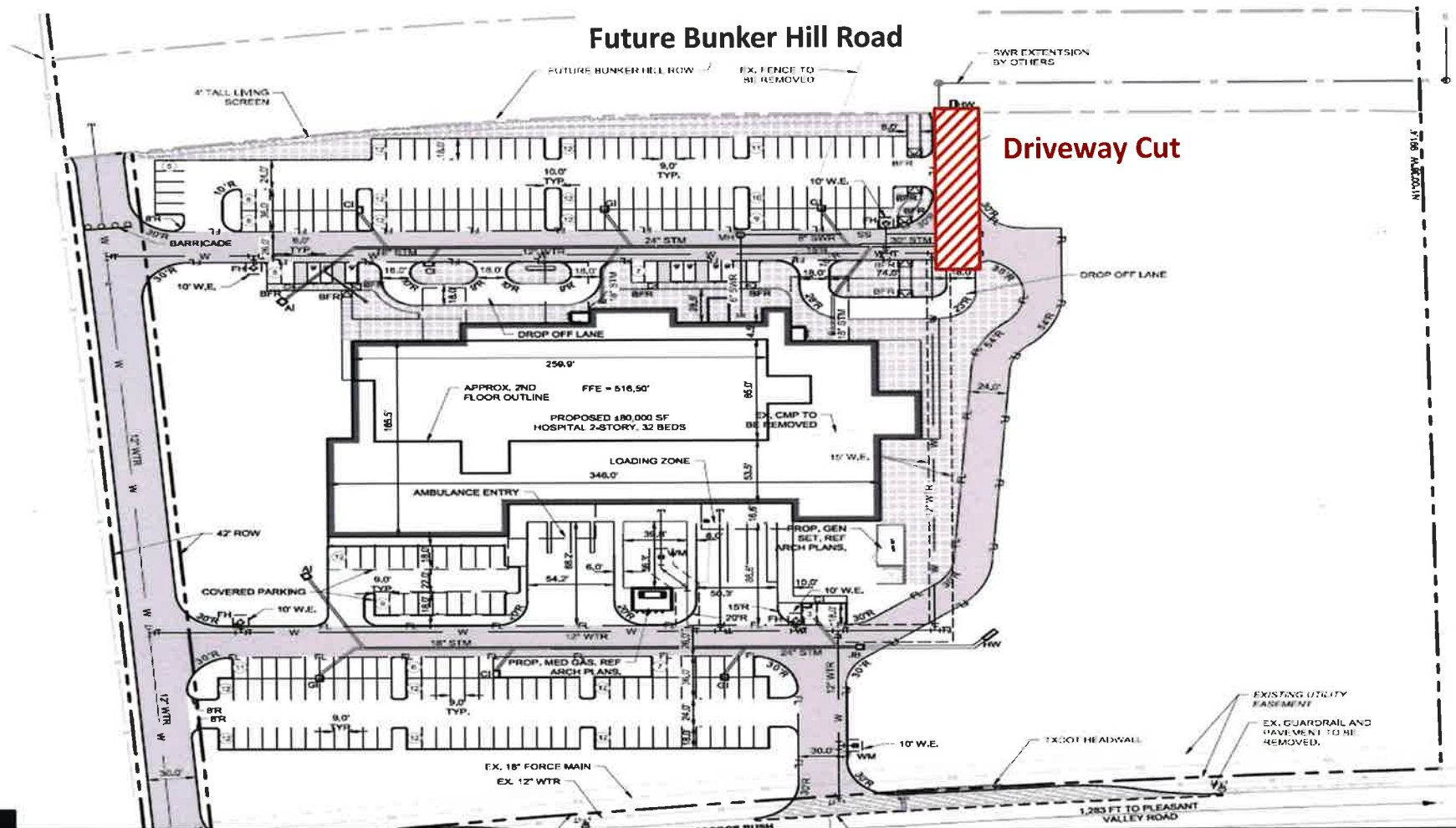


4 – Building Frontage

Required 70% minimum building frontage within setback range w/ required block breaks

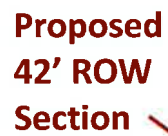


5 – Driveways



6 – Street Section

Future Bunker Hill Road



**52' ROW Section required
(includes two 11' travel lanes,
parallel parking, sidewalks and
street trees)**

STANDARD	PROPOSAL
Block face dimensions (400' maximum block face)	Proposed block face along PGBT is 770'; Bunker Hill Road 811'; and proposed street (Trinity Drive) is 600'
Block perimeter (1,600' maximum block perimeter)	Total of three block faces proposed is 2,181 feet.
Building setback requirement of 5' – 20' along Type A Street (Bunker Hill)	Building is proposed to be setback approximately 160' from Bunker Hill
70% of building frontage required to be within setback range of 5' – 20'	No portion of the building is within the setback range
Driveways and off-street loading shall not be located on Type A Streets (Bunker Hill)	Proposed layout has a driveway cut to Bunker Hill Road
General Street Standard (52' wide to include two travel lanes, parallel parking, sidewalk and street trees)	Proposed 42' street section
Parking shall be located behind principal building	Proposed layout has parking in front and back of building
Area between edge of Type A Street and building edge at public sidewalk shall be paved flush	The proposed layout has parking, drive aisles, and loading/service areas located between the building and public sidewalk
Ground floor of building built to retail-ready standard	Not flush with public sidewalk, ingress/egress to building
Required off-street parking spaces is 1 space per 300 sf*	1 space per 2 beds and 1 space per max employee shift (providing 12 spaces less than required)

*Qualifies as minor modification

Major Modification Criteria

In evaluating a major modification, the Council/Commission shall consider the extent to which the application meets any of the following:

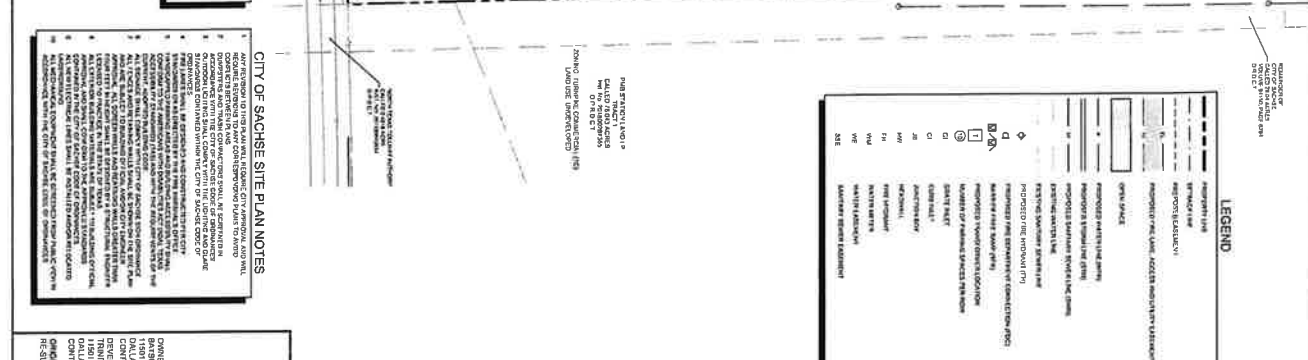
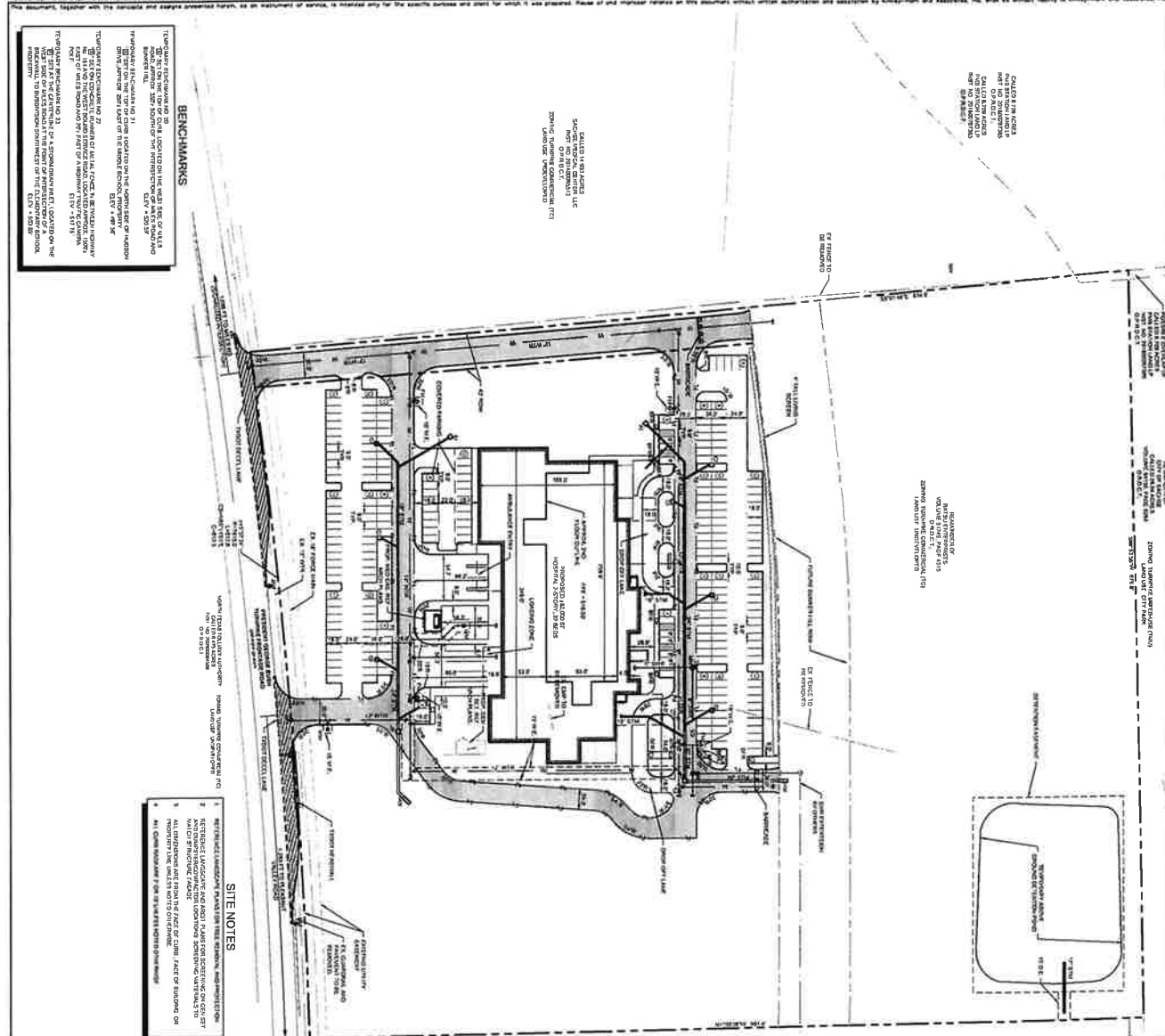
- A. Provides an alternative master plan approach by consolidating multiple properties to create a predictable, market responsive development for the area;
- B. Fits the adjoining context by providing appropriate transitions;
- C. Maintains the overall intent of the comprehensive plan and the PGBT zoning district.

Recommendation

- At their November 25, 2019 Regular Meeting, the Planning & Zoning Commission voted 3-2 to recommend approval of the major modifications and site plan with the stipulation that sidewalks be provided through the site on the north and south side of the Hospital building and that all other outstanding staff comments be addressed.
- Staff recommends denial of the requested major modifications and site civil plan due to conflicts with the principles of the Comprehensive Plan and overall non-conformance with the intent of PGBT Zoning district development standards.
 - Specifically the Comprehensive Plan *encourages a “master developer” context over the different ownership interests by requiring continuity and consistency of the street and open space network to achieve an interconnected network of streets and blocks that allows for a range of development opportunities and transportation modes.*
 - Staff has additional concerns that the proposed site layout is not in keeping with the intended outcomes established by the PGBT Zoning District and the overall character of the area being created by The Station Development.

Council Options:

Intent	Action
To approve layout/proposed major modifications	Approval of site civil plan with all major modifications, contingent upon all other outstanding staff comments being addressed. Approval of preliminary plat (separate action item)
To deny layout/proposed major modifications	Denial of site civil plan and all major modifications. Denial of preliminary plat due to non-conformity to subdivision requirements (separate action item).
Request changes to site civil plan	Table the site civil plan to give applicant opportunity to revise layout to address any issues/concerns. Denial of preliminary plat due to non-conformity to subdivision requirements (separate action item).

[illegible]

10 OF 11 DATE: 3/1/2018 PROJECT NO: 68900000 SHEET: 10 OF 11	TRINITY REGIONAL HOSPITAL CITY OF SACHSE, TEXAS	SCALE: AS SHOWN DESIGNED BY: CJP DRAWN BY: ATW CHECKED BY: DTW	Kimley-Horn 6190 WARREN PARKWAY, SUITE 210, FISCO, TX 75034 PHONE: 972-323-3360 WWW.KIMLEY-HORN.COM	No.	REVISIONS	DATE
				No.	REVISIONS	DATE

RESOLUTION NO. _____

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SACHSE, TEXAS, APPROVAL OF A DEVELOPMENT PLAN RELATING THE DEVELOPMENT AND USE REGULATIONS APPLICABLE TO 19.607± ACRES OUT OF THE RICHARD COPELAND SURVEY, ABST. NO. 228, CITY OF SACHSE, DALLAS COUNTY, TEXAS, DESCRIBED IN EXHIBIT “A” HERETO AND LOCATED IN THE PGBT ZONING DISTRICT; GRANTING MAJOR AND MINOR MODIFICATIONS TO THE REGULATIONS OF THE PGBT DISTRICT RELATING TO THE DEVELOPMENT OF SAID PROPERTY; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, in accordance with Zoning Ordinance of the City of Sachse (“the Zoning Ordinance”) Article 3, Section 14.3 an application has been made to approve a development plan relating to the use and development of 19.607± acres out of the Richard Copeland Survey, Abstract No. 228, City of Sachse, Dallas County, Texas, described in Exhibit “A”, attached hereto and incorporated herein by reference (“the Property”) and located in the PGBT Zoning District subject to approval of major modifications and minor modifications to the PGBT Zoning District regulations; and

WHEREAS, having received and considered the recommendation of the Planning and Zoning Commission that the requested development site plan, subject to major modifications and minor modifications and certain conditions, should be approved, the City Council of the City of Farmers Branch, in the exercise of its legislative discretion, has concluded that the application should be approved.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF SACHSE, TEXAS, THAT:

SECTION 1. In accordance with Article 3, Section 14.3 of the Zoning Ordinance, the development site plan related the development and use of the Property set forth in Exhibit “B” attached hereto and incorporated herein by reference (“the Site Plan”) is hereby approved inclusive of the minor modifications and major modifications, which are hereby approved in accordance with Sections 14.3.E and 14.3.F of the Zoning Ordinance:

A. Notwithstanding Section 14.6.A.1 of the Zoning Ordinance:

- (1) The front façade of the primary building constructed on the Property may be setback greater than twenty feet (20.0’) from Bunker Hill Road, but in no case further than shown on the Site Plan; and
- (2) Less than 70% of the front façade of the primary building constructed on the Property may be located within twenty feet (20.0’) from Bunker Hill Road provided the building is located substantially as shown on the Site Plan;

- B. Notwithstanding Section 14.6.A.2 of the Zoning Ordinance:
- (1) The length of the block faces may exceed 400 feet provided the Property is developed as shown on Site Plan; and
 - (2) The block perimeter dimensions may exceed 1600 feet provided the Property is developed as shown on Site Plan;
- C. Notwithstanding Section 14.6.A.4 of the Zoning Ordinance, the first floor of the buildings constructed on the Property and facing Bunker Hill Road shall not be required to be built to retail-ready standards, including first floor to floor height, ingress and egress, handicap access, and first floor elevation flush with sidewalk, if and only if such building is developed and used for hospital purposes;
- D. Notwithstanding Section 14.6.A.5 of the Zoning Ordinance, if and only if the Property is developed for hospital and related medical office uses:
- (1) Driveways and off-street loading may be located on Bunker Hill Road as shown on the Site Plan;
 - (2) Parking locations may be located behind the principal building constructed on the Site Plan; and
 - (3) The required off-street parking spaces may be less than 1 space for each 300 square feet, but in no case fewer than the number shown on the Site Plan;
- E. Notwithstanding Section 14.6.A.8 Notes, the area between the building and edge of the Bunker Hill Road at the public sidewalk shall be required to be paved flush provided such area is landscaped as shown on the Site Plan; and
- F. Notwithstanding Section 14.8.D, the street to be constructed along the western boundary of the Property may be dedicated with a width of forty-two feet (42.0').

SECTION 2. The approval of the major modifications and minor modification set forth in Section 1, above, are conditioned upon the completion of construction of sidewalks extending from the western boundary of the Property to the eastern boundary of the Property on both the south and north sides of the primary building shown on the Site Plan, a certificate of occupancy for which shall not be granted until construction of said sidewalks is completed.

SECTION 3. This Resolution shall take effect immediately from and after its passage, and it is accordingly so resolved.

DULY RESOLVED AND APPROVED by the City Council of the City of Sachse, Texas,
this the 2nd day of December 2019.

CITY OF SACHSE, TEXAS

Mike J. Felix, Mayor

ATTEST:

Michelle Lewis Sirianni, City Secretary

Resolution No. _____
Exhibit "A" – Boundary Description of the Property

BEING a tract of land situated in the Richard Copeland Survey, Abstract No. 228, City of Sachse, Dallas County, Texas, and being a portion of a tract of land described in a deed to Batsu Enterprises, recorded in Volume 91249, Page 4515, Deed Records, Dallas County, Texas, and being more particularly described by metes and bounds as follows:

BEGINNING at the southeast corner of a called 14.933 acre tract of land as described in a deed to PMB Station Land, LP, recorded in Instrument No. 201900237466, Official Public Records of Dallas County, Texas, same being on the westerly line of said Batsu tract and on the northerly right-of-way line of President George Bush Turnpike (350-foot right-of-way);

THENCE North 04°27'51" West, departing the northerly right-of-way line of said President George Bush Turnpike and along the common line of said 14.933 acre tract and said Batsu tract, a distance of 431.45 feet to a 5/8" inch iron rod with plastic cap stamped "Halff Assoc" found for corner;

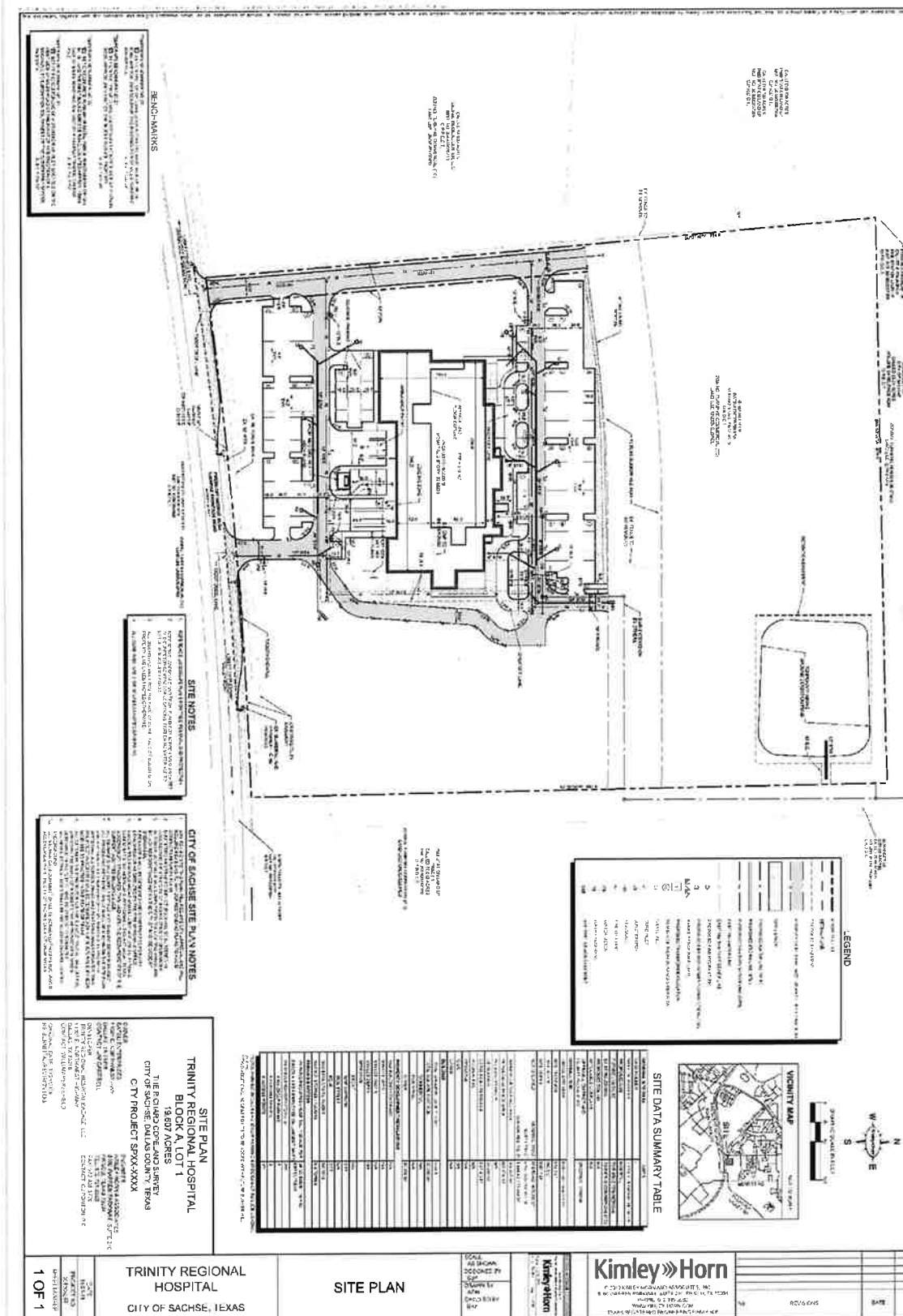
THENCE North 05°01'46" West, continuing along said common line and along the easterly line of a called 8.709 acre tract of land as described in a deed to PMB Station Land, LP, recorded in Instrument No. 201800267365, Official Public Records of Dallas County, Texas, a distance of 614.77 feet to a 5/8 inch iron rod with a red plastic cap, stamped "KHA", set for the northwest corner of said Batsu tract;

THENCE North 88°53'56" East, departing the easterly line of said 8.709 acre tract and along the northerly line of said Batsu tract, a distance of 879.77 feet to a 5/8 inch iron rod with a red plastic cap, stamped "KHA", set for the northeast corner of said Batsu tract;

THENCE South 01°00'38" East, along the easterly line of said Batsu tract, a distance of 991.38 feet to a TxDot Brass Monument stamped "2661" found on the northerly right-of-way line of said President George Bush Turnpike, and at the beginning of a non-tangent curve to the left having a central angle of 5°57'34", a radius of 7815.00 feet, a chord bearing and distance of South 85°11'01" West, 812.47 feet;

THENCE departing the easterly line of said Batsu tract, along the northerly right-of-way line of said President George Bush Turnpike and in a southwesterly direction with said curve to the left, an arc distance of 812.84 feet to the POINT OF BEGINNING and containing 19.607 acres (85,4072 square feet) of land, more or less.

Resolution No. _____
Exhibit "B" – Development Site Plan





Agenda Item Details

Meeting	Dec 02, 2019 - Regular Combined City Council Meeting
Category	F. Regular Agenda Items
Subject	3. Consider and act on a preliminary plat of Trinity Regional Hospital Lot 1, Block A and Lot 1, Block B, being 19.607± acres out of the Richard Copeland Survey, Abst. No. 228, City of Sachse, Dallas County, Texas, generally located north of the westbound PGBT Frontage Road between Miles Road and Merritt Road.
Access	Public
Type	Action, Discussion, Information
Fiscal Impact	No
Budgeted	No
Recommended Action	Staff recommends denial

Public Content

BACKGROUND

- The applicant is proposing to preliminary plat two non-residential lots for a hospital and medical office buildings.
- The size of the total property is approximately 19.607 acres.
- The property is located within the PGBT Zoning District and portions of the property are located in both the Turnpike Commercial and Turnpike Mixed-Use character districts.

OVERVIEW

- Plat approval is not discretionary if the plat meets all applicable standards and regulations of the City's Subdivision Ordinance. However, this preliminary plat is dependent upon major modifications being approved with the site civil plan.
- As proposed, the plat does not meet the standards of the subdivision regulations which calls for the block requirements of the underlying zoning district to be met. Specifically for the PGBT area, the maximum block face is 400' and block perimeter is 1,600'.
- The applicant has proposed block faces of approximately 770', 812' and 600'. In addition, the block perimeter with the three block faces proposed is approximately 2,181'. If a street were to be provided on the adjoining property to the east, the total block perimeter for the subject property would be approximately 2,731'.
- This item is being presented in conjunction with the site civil plan as the plat is directly tied to the proposed site layout and the major modifications being requested.

POLICY

- The policy decision for this item is associated with the site civil plan, which includes major modifications to the block face and block perimeter requirements of the PGBT Zoning District.

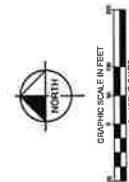
RECOMMENDATION

- Staff recommends denial of the proposed preliminary plat as it is not in compliance with the requirements of the City's subdivision regulations, specifically as it relates to block face and block perimeter. However, should the Council vote to approve the major modifications associated with the site civil plan, including the modifications to block face and block perimeter, then staff would recommend approval of the preliminary plat subject to all outstanding plat review comments being addressed.
- At its November 25, 2019, Regular Meeting, the Planning & Zoning Commission voted 4-1 to recommended approval of the Preliminary Plat.

Proposed Plat - Trinity Regional Hospital.pdf (832 KB)

VICINITY MAP

NOT TO SCALE

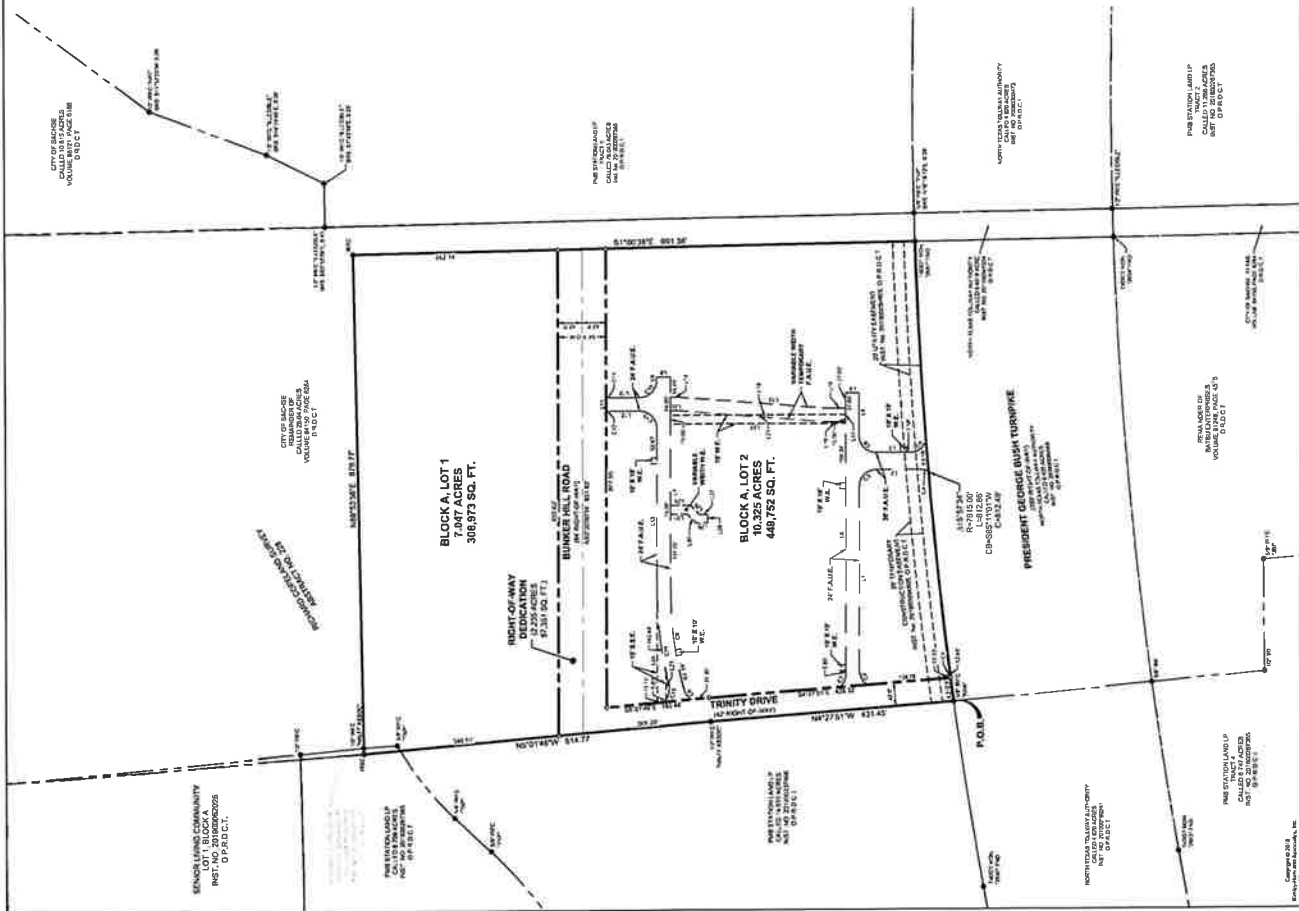


GRAPHIC SCALE IN FEET
1" = 100' @ 24x36"

LEGEND

1. 1/4 SECTION	2. 1/4 SECTION	3. 1/4 SECTION	4. 1/4 SECTION
5. 1/4 SECTION	6. 1/4 SECTION	7. 1/4 SECTION	8. 1/4 SECTION
9. 1/4 SECTION	10. 1/4 SECTION	11. 1/4 SECTION	12. 1/4 SECTION
13. 1/4 SECTION	14. 1/4 SECTION	15. 1/4 SECTION	16. 1/4 SECTION
17. 1/4 SECTION	18. 1/4 SECTION	19. 1/4 SECTION	20. 1/4 SECTION
21. 1/4 SECTION	22. 1/4 SECTION	23. 1/4 SECTION	24. 1/4 SECTION
25. 1/4 SECTION	26. 1/4 SECTION	27. 1/4 SECTION	28. 1/4 SECTION
29. 1/4 SECTION	30. 1/4 SECTION	31. 1/4 SECTION	32. 1/4 SECTION

LINE TABLE	STATION	LENGTH	BEARING	COORDINATES
1	0+00	1.00	N 89° 51' 14" E	508.947
2	1+00	1.00	N 89° 51' 14" E	508.947
3	2+00	1.00	N 89° 51' 14" E	508.947
4	3+00	1.00	N 89° 51' 14" E	508.947
5	4+00	1.00	N 89° 51' 14" E	508.947
6	5+00	1.00	N 89° 51' 14" E	508.947
7	6+00	1.00	N 89° 51' 14" E	508.947
8	7+00	1.00	N 89° 51' 14" E	508.947
9	8+00	1.00	N 89° 51' 14" E	508.947
10	9+00	1.00	N 89° 51' 14" E	508.947
11	10+00	1.00	N 89° 51' 14" E	508.947
12	11+00	1.00	N 89° 51' 14" E	508.947
13	12+00	1.00	N 89° 51' 14" E	508.947
14	13+00	1.00	N 89° 51' 14" E	508.947
15	14+00	1.00	N 89° 51' 14" E	508.947
16	15+00	1.00	N 89° 51' 14" E	508.947
17	16+00	1.00	N 89° 51' 14" E	508.947
18	17+00	1.00	N 89° 51' 14" E	508.947
19	18+00	1.00	N 89° 51' 14" E	508.947
20	19+00	1.00	N 89° 51' 14" E	508.947
21	20+00	1.00	N 89° 51' 14" E	508.947
22	21+00	1.00	N 89° 51' 14" E	508.947
23	22+00	1.00	N 89° 51' 14" E	508.947
24	23+00	1.00	N 89° 51' 14" E	508.947
25	24+00	1.00	N 89° 51' 14" E	508.947
26	25+00	1.00	N 89° 51' 14" E	508.947
27	26+00	1.00	N 89° 51' 14" E	508.947
28	27+00	1.00	N 89° 51' 14" E	508.947
29	28+00	1.00	N 89° 51' 14" E	508.947
30	29+00	1.00	N 89° 51' 14" E	508.947
31	30+00	1.00	N 89° 51' 14" E	508.947
32	31+00	1.00	N 89° 51' 14" E	508.947
33	32+00	1.00	N 89° 51' 14" E	508.947
34	33+00	1.00	N 89° 51' 14" E	508.947
35	34+00	1.00	N 89° 51' 14" E	508.947
36	35+00	1.00	N 89° 51' 14" E	508.947
37	36+00	1.00	N 89° 51' 14" E	508.947
38	37+00	1.00	N 89° 51' 14" E	508.947
39	38+00	1.00	N 89° 51' 14" E	508.947
40	39+00	1.00	N 89° 51' 14" E	508.947
41	40+00	1.00	N 89° 51' 14" E	508.947
42	41+00	1.00	N 89° 51' 14" E	508.947
43	42+00	1.00	N 89° 51' 14" E	508.947
44	43+00	1.00	N 89° 51' 14" E	508.947
45	44+00	1.00	N 89° 51' 14" E	508.947
46	45+00	1.00	N 89° 51' 14" E	508.947
47	46+00	1.00	N 89° 51' 14" E	508.947
48	47+00	1.00	N 89° 51' 14" E	508.947
49	48+00	1.00	N 89° 51' 14" E	508.947
50	49+00	1.00	N 89° 51' 14" E	508.947
51	50+00	1.00	N 89° 51' 14" E	508.947
52	51+00	1.00	N 89° 51' 14" E	508.947
53	52+00	1.00	N 89° 51' 14" E	508.947
54	53+00	1.00	N 89° 51' 14" E	508.947
55	54+00	1.00	N 89° 51' 14" E	508.947
56	55+00	1.00	N 89° 51' 14" E	508.947
57	56+00	1.00	N 89° 51' 14" E	508.947
58	57+00	1.00	N 89° 51' 14" E	508.947
59	58+00	1.00	N 89° 51' 14" E	508.947
60	59+00	1.00	N 89° 51' 14" E	508.947
61	60+00	1.00	N 89° 51' 14" E	508.947
62	61+00	1.00	N 89° 51' 14" E	508.947
63	62+00	1.00	N 89° 51' 14" E	508.947
64	63+00	1.00	N 89° 51' 14" E	508.947
65	64+00	1.00	N 89° 51' 14" E	508.947
66	65+00	1.00	N 89° 51' 14" E	508.947
67	66+00	1.00	N 89° 51' 14" E	508.947
68	67+00	1.00	N 89° 51' 14" E	508.947
69	68+00	1.00	N 89° 51' 14" E	508.947
70	69+00	1.00	N 89° 51' 14" E	508.947
71	70+00	1.00	N 89° 51' 14" E	508.947
72	71+00	1.00	N 89° 51' 14" E	508.947
73	72+00	1.00	N 89° 51' 14" E	508.947
74	73+00	1.00	N 89° 51' 14" E	508.947
75	74+00	1.00	N 89° 51' 14" E	508.947
76	75+00	1.00	N 89° 51' 14" E	508.947
77	76+00	1.00	N 89° 51' 14" E	508.947
78	77+00	1.00	N 89° 51' 14" E	508.947
79	78+00	1.00	N 89° 51' 14" E	508.947
80	79+00	1.00	N 89° 51' 14" E	508.947
81	80+00	1.00	N 89° 51' 14" E	508.947
82	81+00	1.00	N 89° 51' 14" E	508.947
83	82+00	1.00	N 89° 51' 14" E	508.947
84	83+00	1.00	N 89° 51' 14" E	508.947
85	84+00	1.00	N 89° 51' 14" E	508.947
86	85+00	1.00	N 89° 51' 14" E	508.947
87	86+00	1.00	N 89° 51' 14" E	508.947
88	87+00	1.00	N 89° 51' 14" E	508.947
89	88+00	1.00	N 89° 51' 14" E	508.947
90	89+00	1.00	N 89° 51' 14" E	508.947
91	90+00	1.00	N 89° 51' 14" E	508.947
92	91+00	1.00	N 89° 51' 14" E	508.947
93	92+00	1.00	N 89° 51' 14" E	508.947
94	93+00	1.00	N 89° 51' 14" E	508.947
95	94+00	1.00	N 89° 51' 14" E	508.947
96	95+00	1.00	N 89° 51' 14" E	508.947
97	96+00	1.00	N 89° 51' 14" E	508.947
98	97+00	1.00	N 89° 51' 14" E	508.947
99	98+00	1.00	N 89° 51' 14" E	508.947
100	99+00	1.00	N 89° 51' 14" E	508.947



NOTES:

- All bearings shown are based on grid north of the Texas Coordinate System of 1983, North Central Zone (4202), North American Datum of 1983. All dimensions shown are ground distances. To obtain grid distances, multiply the ground distance by the Project Contraction Factor (PCF) of 0.9999993271.
- According to Community Plan No. 481130020K, dated July 7, 2014, of the National Flood Insurance Administration, the property is in Zone X (Unshaded) and is not within a special flood hazard area. If this property is not within an identified special flood hazard area, the National Flood Insurance Administration will not issue a Flood Insurance Policy for the property. On rare occasions, greater flood can and will occur and flood heights may be increased by man-made or natural causes. The flood insurance shall not create liability on the part of the surveyor.
- NOTICE: Selling a portion of this addition by metes and bounds is a violation of City Ordinance and State of Texas statutes and is subject to fines and withholding of utilities and building permits.
- NOTICE: Proposed easements shown herein are preliminary and their locations will be determined by the final design of utilities.

PRELIMINARY PLAT TRINITY REGIONAL HOSPITAL

BLOCK A, LOTS 1 & 2

BEING 19.897 ACRES OUT OF
THE RICHARD COPELAND SURVEY, A-226,
CITY OF SACIRE, DALLAS COUNTY, TEXAS.

Kimley»Horn

6100 Wilshire Blvd., Suite 370 Dallas, Texas 75235 Tel. No. 972-332-2779 Fax No. 972-332-2779	Survey No. 110P 2
DATE JAN 11 2017	COMMISSION OCT 2016
BY JAN 11 2017	REVISIONS 110P 2

APPLICANT:
DANER
6100 Wilshire Blvd., Suite 370
Dallas, Texas 75235
Phone: 214-914-8811
Contact: Jim Campbell

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Kimley-Horn & Associates, Inc.

APPLICANT:
Kimley-Horn and Associates, Inc.
6160 Warren Parkway, Suite 210
Frisco, Texas 75034
Phone 972-335-3560
Contact: C.J. Ponton

OWNER:
BATSU ENTERPRISES
Phone 214-914-9811
Contact: Jim Campbell

**Agenda Item Details**

Meeting	Dec 02, 2019 - Regular Combined City Council Meeting
Category	F. Regular Agenda Items
Subject	4. Conduct a public hearing to consider and act on a resolution approving the issuance of bonds by the Public Finance Authority to provide funds to Trinity Regional Hospital Sachse, LLC, to finance costs related to design, construction and equipment of a 32 bed acute care hospital to be located at 4825 President George Bush Turnpike, within the City of Sachse.
Access	Public
Type	Action

Public Content**POLICY CONSIDERATIONS**

There are no policy considerations affiliated with this item.

RECOMMENDATION

Conduct a public hearing and act on the resolution as presented.

Resolution for TEFRA approval (Trinity Hospital).pdf (18 KB)

RESOLUTION NO. _____

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SACHSE,
TEXAS APPROVING THE ISSUANCE OF BONDS BY THE PUBLIC
FINANCE AUTHORITY TO FINANCE FACILITIES TO BE LOCATED IN
SACHSE, TEXAS; AND PROVIDING AN EFFECTIVE DATE**

WHEREAS, Trinity Regional Hospital Sachse, LLC (the “Borrower”), a Texas limited liability company, having as its sole member Sunland Medical Foundation, a New Mexico nonprofit corporation that is an organization described in Section 501(c)(3) of the Internal Revenue Code of 1986, as amended (the “Code”), desires to finance the costs of design, construction, and equipping of a general acute care hospital with a capacity of 32 beds to be located at 4825 President George Bush Turnpike, Sachse, Dallas County, Texas 75048 (the “Project”); and

WHEREAS, on October 2, 2019, the Public Finance Authority (the “Public Finance Authority”) adopted a bond resolution under which it agreed to issue its revenue bonds (the “Bonds”) and to lend the proceeds of the Bonds to the Borrower for the purpose of (i) financing the costs of design, construction, and equipping of the Project, (ii) financing capitalized interest, (iii) funding certain funds and accounts and (iv) financing the cost of issuing the Bonds; and

WHEREAS, the Project will be owned and operated by the Borrower and will be managed by Quorum Health Resources, LLC or its affiliate; and

WHEREAS, after publication of a notice at least 7 days prior to the date of this approval, which notice of the hearing was published in the *Sachse News*, a newspaper of general circulation in the City of Sachse, Texas (the “City”), on this date a public hearing was held regarding the Bonds and the Project being financed with the proceeds of the Bonds; and

WHEREAS, the purposes of this approval are to satisfy the public approval requirement of Section 147(f) of the Code, in order to qualify the interest on the Bonds for exclusion from the gross income of the owners thereof for federal income tax purposes pursuant to the applicable provisions of the Code, and to comply with the requirements applicable to the Public Finance Authority under the laws of the State of Wisconsin (the “State”); and

WHEREAS, THE BONDS SHALL NOT EVER REPRESENT OR CONSTITUTE A DEBT, OBLIGATION, OR PLEDGE OF THE FAITH AND CREDIT OR THE TAXING POWER OF THE CITY OR ANY OTHER POLITICAL SUBDIVISION OR MUNICIPAL CORPORATION AND SHALL SOLELY BE PAYABLE AND SECURED BY PAYMENTS MADE BY AND COLLATERAL PROVIDED BY THE BORROWER; AND

WHEREAS, pursuant to the requirements of the Code, the issuance of the Bonds by the Public Finance Authority must be approved by the governing body or highest ranking executive or administrator of the political body having jurisdiction over the area in which the Project is located; and

WHEREAS, the Public Finance Authority has requested that the City Council of the City approve the financing of the Project and the issuance of the Bonds in order to satisfy Section 147(f)

of the Code and the requirements applicable to the Public Finance Authority under the laws of the State; and

WHEREAS, the Council is the governing body of the City.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF SACHSE, TEXAS THAT:

SECTION 1. For the purposes of qualifying the interest on the Bonds for exclusion from the gross income of the owners thereof for federal income tax purposes pursuant to applicable provisions of the Code and complying with the requirements applicable to the Public Finance Authority under the laws of the State, the issuance of the Bonds by the Public Finance Authority in the aggregate principal amount not to exceed \$75,000,000 for the purpose of (i) financing the costs of design, construction, and equipping of the Project, (ii) financing capitalized interest, (iii) funding certain funds and accounts and (iv) financing the cost of issuing the Bonds.

SECTION 2. This approval is given solely for the purpose of compliance with provisions of the Code and the requirements applicable to the Public Finance Authority under the laws of the State and in no event shall this approval constitute any obligation on the part of the City with respect to the Bonds or any proceedings related thereto.

SECTION 3. This Resolution shall be effective immediately upon its approval.

DULY RESOLVED AND APPROVED by the City Counsel of the City of Sachse, Texas, this 2nd day of December 2019.

CITY OF SACHSE, TEXAS

Mike J. Felix, Mayor

ATTEST:

Michelle Lewis Sirianni, City Secretary

**Agenda Item Details**

Meeting	Dec 02, 2019 - Regular Combined City Council Meeting
Category	F. Regular Agenda Items
Subject	5. Consider a resolution adopting a policy permitting the consideration of applications for primary depository bank services received from financial institutions that are not doing business within the municipal boundaries of the City.
Access	Public
Type	Action
Preferred Date	Dec 02, 2019
Fiscal Impact	No
Recommended Action	Approve as presented.
Goals	Be a model of financial stewardship through growth management, responsible investment, and financial transparency.

Public Content**BACKGROUND**

The City's current bank depository agreement with American National Bank of Texas expires May 31, 2020, and the Finance Department will begin the Request for Application (RFA) process in the next few weeks. Chapter 105 of the Texas Local Government Code requires the City to competitively solicit financial institutions located within the City's municipal boundaries to provide primary depository bank services. Chapter 105 does allow the City Council to adopt a written policy permitting the consideration of applications received from financial institutions that are located outside of the City's municipal boundaries when it is deemed to be in the best interest of the City. The number of financial institutions located within the municipal boundaries of the City that can provide primary depository bank services is limited. The City will limit the selection to those financial institutions within a specified distance from City Hall determined by the consideration of operational convenience and increased competitiveness. The specified distance will be disclosed in the Notice, advertisements, and the RFA.

POLICY CONSIDERATIONS

The Primary Depository Bank Solicitation Boundaries Policy as adopted will be added to the City's Comprehensive Financial Management Policy Statements.

RECOMMENDATION

Approve a resolution of the City Council of the City of Sachse, Texas, adopting a policy permitting the consideration of applications for primary depository bank services received from financial institutions that are not doing business within the municipal boundaries of the City.

Sachse Depository Bank Solicitation Policy 110719.pdf (10 KB)

Resolution Sachse Depository.pdf (13 KB)

RESOLUTION NO. _____

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SACHSE, TEXAS, ADOPTING A POLICY PERMITTING THE CONSIDERATION OF APPLICATIONS FOR PRIMARY DEPOSITORY BANK SERVICES RECEIVED FROM FINANCIAL INSTITUTIONS THAT ARE NOT DOING BUSINESS WITHIN THE MUNICIPAL BOUNDARIES OF THE CITY.

WHEREAS, Chapter 105 of the Texas Local Government Code requires the City to competitively solicit financial institutions located within the City's municipal boundaries to provide primary depository bank services; and

WHEREAS, Chapter 105 of the Texas Local Government Code further allows the City Council to adopt a written policy permitting the consideration of applications received from financial institutions that are located outside of the City's municipal boundaries when it is deemed to be in the best interest of the City; and

WHEREAS, the number of financial institutions located within the municipal boundaries of the City that can provide primary depository bank services is limited; and

WHEREAS, it is in the best interest of the City to include financial institutions from outside the City's municipal boundaries to ensure a competitive application solicitation process.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Sachse, Texas ("City"):

SECTION 1. That the findings and premises contained in the above are deemed to be true and correct.

SECTION 2. That the attached written policy of the City of Sachse, Texas shall be approved.

SECTION 3. This Resolution shall become effective upon the date of passage.

DULY RESOLVED AND APPROVED on this 2nd day of December, 2019.

CITY OF SACHSE, TEXAS

Mike J. Felix, Mayor

ATTEST:

Michelle Lewis Sirianni, City Secretary

CITY OF SACHSE, TX
PRIMARY DEPOSITORY BANK SOLICITATION BOUNDARIES POLICY
NOVEMBER 2019

In accordance with Chapter 105 of the State of Texas Local Government Code, it is the Policy of the City of Sachse, TX to accept applications from financial institutions ("banks, credit unions, savings associations") doing business within the City's municipal boundaries.

With the approval by resolution of the City Council of the City of Sachse, TX, in the best interest of the City, the City may accept applications from financial institutions not doing business within municipal boundaries.

The City will limit the selection to those financial institutions within a specified distance from City Hall determined by the consideration of operational convenience and increased competitiveness. This specified distance will be disclosed in the Notice, advertisements (local and general circulation), and the Request For Applications.

**Agenda Item Details**

Meeting	Dec 02, 2019 - Regular Combined City Council Meeting
Category	F. Regular Agenda Items
Subject	6. Consider a resolution casting its vote for the fourth member of the Board of Directors of the Dallas Central Appraisal District (DCAD).
Access	Public
Type	Action, Discussion, Information
Recommended Action	Approve a resolution casting its vote for _____ as the fourth member of the Board of Directors of the Dallas Central Appraisal District (DCAD).

Public Content**BACKGROUND**

Every two years, in odd numbered years, all suburban cities cast their vote for one individual to the Board of Directors. In 2015, the Council nominated and voted for Mr. Michael Hurtt to be reconsidered for the position. Mr. Hurtt has been Sachse's choice for this position the past several years. In October 2017 and 2019, the City Council nominated Councilman Franks to be considered as the representative for the suburban cities to the Board of Directors.

OVERVIEW

The City Council will be able to cast their vote for one of the following individuals. The nominees are as follows including the nominating entity:

- Michael Hurtt - Desoto, Duncanville, Richardson
- Dianne Cartwright - Irving
- Mona Dixon - Lancaster
- Brett Franks - Sachse
- Steve Nichols - Hutchins

POLICY CONSIDERATIONS

There are no policy considerations affiliated with this item.

RECOMMENDATION

Approve a resolution casting its vote for the fourth member of the Board of Directors of the Dallas Central Appraisal District.

Resolution Casting Vote DCAD Board of Directors.pdf (60 KB)

RESOLUTION NO. _____

A RESOLUTION OF THE CITY OF _____, DALLAS COUNTY, TEXAS, CASTING ITS VOTE FOR THE FOURTH MEMBER OF THE BOARD OF DIRECTORS OF THE DALLAS CENTRAL APPRAISAL DISTRICT.

WHEREAS, Dallas County eligible taxing entities have expressed and approved an option which allows for representation to the Appraisal District Board of Directors (in accordance with Section 6.03 of the Texas Property Tax Code) as follows:

1. The City of Dallas shall appoint one (1) member to the Board.
2. The Dallas Independent School District shall appoint one (1) member to the Board.
3. The Dallas County Commissioners Court shall appoint one (1) member to the Board. The member appointed by the Dallas County Commissioners Court shall not be a resident of either the City of Dallas or the Dallas Independent School District.
4. Each of the incorporated cities and towns, except for the City of Dallas, shall have the right to nominate by an official resolution one (1) candidate as the fourth member of the Board of Directors. The said cities and towns shall, from the nominations received, elect by a majority vote, with each city and town being entitled to one (1) vote, the fourth member of the Board of Directors.
5. Each of the School Districts, and the Dallas County Community College District, except the Dallas Independent School District, shall have the right to nominate by an official resolution one (1) candidate as the fifth member of the Board of Directors. The said school districts shall, from the nominations received, elect by a majority vote, with each school district and the community college district being entitled to one (1) vote, the fifth member of the Board of Directors.

The votes required for election to the Board of Directors in 4 and 5 hereof shall be by a majority of those authorized to vote in 4 and 5 respectively and not by a majority of the quorum, and

WHEREAS, the City of _____ does hereby cast its vote by marking the ballot below:
(Check one only)

- ☐ **Michael Hurtt**
- ☐ **Dianne Cartwright**
- ☐ **Mona Dixon**
- ☐ **Brett Franks**
- ☐ **Steve Nichols**

NOW, THEREFORE BE IT RESOLVED that the City Council of the City of _____ does hereby confirm its one (1) vote for the election of _____ as the suburban cities' representative to the Board of Directors of the Dallas Central Appraisal District.

PASSED AND APPROVED, this the _____ day of _____, 2019

MAYOR

ATTEST: _____
CITY SECRETARY

SEAL:

**Agenda Item Details**

Meeting	Dec 02, 2019 - Regular Combined City Council Meeting
Category	F. Regular Agenda Items
Subject	7. Consider a resolution casting its vote(s) for the Collin Central Appraisal District Board of Directors (CCAD).
Access	Public
Type	Action, Discussion
Recommended Action	Motion to cast __ votes to _____ for the Collin Central Appraisal District Board of Directors (CCAD).

Public Content**BACKGROUND**

Every two years, in odd numbered years, the City Council casts its votes for member(s) of the Board of Directors of the Collin Central Appraisal District. In 2011 and 2013, Sachse City Council voted for Dr. Leo Fitzgerald; in 2015 and 2017, the Council voted for Wayne Mayo.

OVERVIEW

At the September 16, 2019, City Council meeting, the City Council nominated Mayor Pro Tem Michelle Howarth. This year, the City Council has 12 votes to cast. All of our votes can be cast for one individual or can be split in any manner among any of the nominees.

This year's candidates include: Earnest Burke (Plano), Ronald Carlisle (Frisco), Keith Chitwood (Blue Ridge), Wayne Coltrane (Plano), Michelle Howarth (Sachse), Brian Mantzey (McKinney), Wayne Mayo (Richardson), Michael Pirek (Plano), Gary Rodenbaugh (Allen), and Ed Standridge (Parker).

POLICY CONSIDERATIONS

There are no policy considerations affiliated with this item.

RECOMMENDATION

Cast votes (12) for the Collin Central Appraisal District Board of Directors (CCAD).

CCAD Voting Board of Directors Resolution.pdf (30 KB)

RESOLUTION NO. _____

**A RESOLUTION OF THE CITY OF SACHSE, TEXAS, CASTING ITS VOTES
FOR THE BOARD OF DIRECTORS OF THE COLLIN COUNTY CENTRAL
APPRAISAL DISTRICT; AND PROVIDING FOR AN EFFECTIVE DATE.**

WHEREAS, the City of Sachse is a member of the Collin County Central Appraisal District; and

WHEREAS, as a member of such organization, Sachse is entitled to nominate and vote on nominees for the Board of Directors; and

WHEREAS, the City of Sachse has twelve (12) votes to cast regarding the election of the Board of Directors; and

WHEREAS, the City of Sachse does hereby cast its vote(s) by marking the ballot below:

_____	Earnest Burke
_____	Ronald Carlisle
_____	Keith Chitwood
_____	Wayne Coltrane
_____	Michelle Howarth
_____	Brian Mantzey
_____	Wayne Mayo
_____	Michael Pirek
_____	Gary Rodenbaugh
_____	Ed Standridge

**NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY
OF SACHSE, TEXAS, THAT:**

SECTION 1. That the Council of the City of Sachse, Texas does hereby confirm its twelve (12) votes for the election of the Board of Directors of the Collin County Central Appraisal District.

SECTION 2. That this resolution shall become effective immediately upon approval.

DULY RESOLVED AND APPROVED by the City Council of the City of Sachse, Texas, this 2nd day of December, 2019.

CITY OF SACHSE, TEXAS

Mike J. Felix, Mayor

ATTEST:

Michelle Lewis Sirianni, City Secretary

**Agenda Item Details**

Meeting	Dec 02, 2019 - Regular Combined City Council Meeting
Category	G. Executive Session
Subject	1. The City Council shall convene into Executive Session pursuant to Texas Government Code Section §551.087 Economic Development Deliberations: Deliberate the offer of a financial or other incentive relating to the development of Project Trinity.
Access	Public
Type	Closed Session

Public Content