



City of Sachse, Texas

3815 Sachse Road,
Building B
Sachse, TX 75048

Meeting Agenda Planning & Zoning Commission

Monday, April 24, 2017

6:30 PM

Council Chambers Conference Room

To address the Commission for any public hearing item, please sign a speaker's sheet located on the tables by the front entry and submit to the acting Secretary. You will have three (3) minutes to address the Commission. In accordance with the Open Meetings Act, the Commission may not discuss or take action on any item, which has not been posted on the agenda

6:30 PM WORK SESSION

1. [17-3784](#) Consider approval of the minutes of the March 27, 2017 Planning and Zoning Commission meeting.
Attachments: [03.27.17 Minutes](#)
2. Receive presentation regarding the 2016 Annual Community Development Report.
3. [17-3789](#) Discuss infrastructure related to development in the President George Bush Turnpike (PGBT) District.
Attachments: [Presentation](#)
4. [17-3787](#) Discuss proposed revisions to Chapter 11 (Zoning) of the Code of Ordinances, to adopt Architectural Standards.
Attachments: [Presentation](#)
[Architectural Exhibit](#)
[Proposed Regulations](#)
5. Discussion of future agenda items, update on council action, training topics, and requests for new business considerations.
6. Adjournment.

Posted: April 21, 2017; 5:00 p.m.

Michelle Lewis Sirianni, City Secretary

If you plan to attend this public meeting and you have a disability that requires special arrangements at the meeting, please contact Michelle Lewis Sirianni, City Secretary at (972) 495-1212, 48 business hours prior to the scheduled meeting date.



City of Sachse, Texas

Legislation Details (With Text)

File #: 17-3784 **Version:** 1 **Name:** March 27, 2017 P&Z Minutes
Type: Agenda Item **Status:** Agenda Ready
File created: 4/19/2017 **In control:** Planning & Zoning Commission
On agenda: 4/24/2017 **Final action:**
Title: Consider approval of the minutes of the March 27, 2017 Planning and Zoning Commission meeting.
Sponsors:
Indexes:
Code sections:
Attachments: [03.27.17 Minutes](#)

Date	Ver.	Action By	Action	Result
------	------	-----------	--------	--------

Title

Consider approval of the minutes of the March 27, 2017 Planning and Zoning Commission meeting.

Background

Consider approval of the Planning and Zoning Commission minutes for the March 27, 2017 meeting.

Policy Considerations

N/A

Budgetary Considerations

N/A

Staff Recommendations

Approve the minutes of the Planning and Zoning Commission March 27, 2017 meeting.



**City of Sachse, Texas
Planning & Zoning Commission
Minutes of the Regular Meeting
Monday, March 27, 2017**

Members Present:

Scott Everett - Chair
David Hock - Vice Chair
Chance Lindsey
Scott Ohman

Members Absent:

Wendy Stewart
Louie Carter
Fernando Gutierrez

Staff Present:

Dusty McAfee, AICP - Community Development Director
Charlotte Youngblood - Community Development Technician

6:30 PM Work Session

Staff provided the commission with a community update and discussed agenda items.

7:15 PM Regular Meeting

Chairman Scott Everett opened the meeting of the Planning & Zoning Commission at 7:00 p.m. and declared a quorum.

1. Invocation and Pledge of the Allegiance to the U.S. and Texas Flags.

Commissioner Hock offered the invocation, and Commissioner Ohman led the pledges.

Regular Agenda Items:

2. Consider approval of the minutes of the February 13, 2017 Planning & Zoning Commission meeting.

With a motion by Hock, and a second by Ohman, the Planning & Zoning Commission adopted the February 13, 2017 minutes unanimously.

3. Consider approval of the minutes of the February 27, 2017 Planning & Zoning Commission meeting.

With a motion by Ohman, and a second by Lindsey, the Planning & Zoning Commission adopted the February 27, 2017 minutes unanimously.

4. Consider and act on a final plat application for Mustang Creek Estates from John Roach, generally located south of Ranch Road and east of Parkwood Ranch, within city limits.

Staff presented the case as outlined in the staff report. With a motion by Lindsey, and a second by Hock, the recommendation to approve the final plat passed unanimously.

5. Discussion of future agenda items, update on council action, training topics, requests for new business considerations, and Comprehensive Plan update.

Staff updated the Commission.

Adjourn: With a motion by Hock, the meeting was adjourned at 7:22 PM.

Chairperson

Secretary



City of Sachse, Texas

Legislation Details (With Text)

File #:	17-3789	Version:	1	Name:	PGBT Infrastructure P&Z 4-24-17
Type:	Agenda Item	Status:		Status:	Agenda Ready
File created:	4/21/2017	In control:		In control:	Planning & Zoning Commission
On agenda:	4/24/2017	Final action:		Final action:	
Title:	Discuss infrastructure related to development in the President George Bush Turnpike (PGBT) District.				
Sponsors:					
Indexes:					
Code sections:					
Attachments:	Presentation				

Date	Ver.	Action By	Action	Result
------	------	-----------	--------	--------

Title

Discuss infrastructure related to development in the President George Bush Turnpike (PGBT) District.

Background

The City of Sachse approved a new Comprehensive Plan in March. Included with the plan were multiple development scenarios for the PGBT District. This item is to discuss infrastructure needs in the PGBT District related to the proposed development.

The staff presentation includes information on the specific water, sewer, and street projects that have been identified, project funding, and next steps to take in meeting infrastructure needs in the PGBT District.

Policy Considerations

None.

Budgetary Considerations

None.

Staff Recommendations

Discuss and provide feedback to staff.



PGBT Infrastructure Discussion

City Council
April 17, 2017

Overview

- 10-year CIP and Impact Fee Study
- Street System
 - Existing Infrastructure
 - Needed Infrastructure
- Utility Fund Status & Utility Project Costs
- Water System
 - Existing Infrastructure
 - Needed Infrastructure
- Sewer System
 - Existing Infrastructure
 - Needed Infrastructure
- Discussion & Next Steps



10-yr Capital Improvement Plan and Impact Fee Study

- The study is required for the City to apply impact fees to new development projects in the City.
- Staff is currently working with a consultant to update the 10-yr CIP and Impact Fee Study in accordance with State Law.
- The study was fully re-done in 2012. The 2017 update is a minor update, to keep the study relevant and accurate.
- The update to the study will include updated costs for all capital road, water, and sanitary sewer projects.

Street System – Existing Infrastructure

1. PGBT Frontage Roads
2. Miles Road
3. Merritt Road from Pleasant Valley Road to the South
4. North ½ of Hudson Drive
5. Bunker Hill Road



Street System – Needed Infrastructure

- Development-Driven Street Improvements
 1. Hudson Drive – South ½
 2. Merritt Road from Hudson to Pleasant Valley
 3. Bunker Hill Extension
 4. Pleasant Valley South
- City-Driven Street Improvements
 - Merritt Road Re-alignment (not shown)



Utility Fund Status

- In 2014, the City Council passed an ordinance to approve a water and sanitary sewer rate structure that included the funding of 50% of the water and sanitary sewer capital improvement projects.
- This rate structure intended to establish funding for up to \$14M in capital water and sewer projects through debt service on the Utility Fund, including:

• Partial funding of Water CIP Projects.....	\$4M
• Property for 1.25 MG Elevated Water Storage Tank.....	\$600K
• 1.25 MG Elevated Water Storage Tank.....	\$3.4M
• Partial funding of Sewer CIP Projects.....	\$10M
• Southeast Lift Station.....	\$2.3M
• 24" Gravity Sewer from Sachse Road LS to Southeast LS.....	\$3.5M
• PGBT Sewer System.....	\$2.7M
• CIP Sewer Mains.....	\$1.5M

TOTAL: \$14M

Utility Fund Status

- The Finance Department has reviewed the current status of the Utility Fund, including water use and the rate structure.
- The current rate structure assumed issuing \$7.5M in debt in FY 2016, and \$4.5M in debt in FY 2017.
- In accordance with the rate structure approved by the City Council in 2014, there is capacity to issue \$12M in debt service now, and an additional \$2.5M in FY 2019.
- Currently there is a fund balance of \$1.475M above the minimum amount needed for the planned debt service.
- Debt issued through the Utility Fund is paid back through the water and sewer rates, and is not paid through property taxes, sales taxes, or the General Fund.

Project Funding

- Since 2014, our region has continued to see dramatic growth, and a very active construction environment.
- Construction costs have been rising, by as much as 15% per year.
- Based on current construction prices, the anticipated Utility Fund project costs are:

• Partial funding of Water CIP Projects.....	\$4M	
• Property for 1.25 MG Elevated Water Storage Tank.....	\$600K	Impact Fees
• 1.25 MG Elevated Water Storage Tank.....	\$3.4M	\$4M
• Partial funding of Sewer CIP Projects.....	\$10M	
• Southeast Lift Station.....	\$2.3M	\$3M
• 24" Gravity Sewer from Sachse Road LS to Southeast LS.....	\$3.6M	\$5M
• PGBT Sewer System.....	\$1.7M	\$3M
• CIP Sewer Mains.....	\$1.5M	\$2M
		\$11M

Water System – Existing Infrastructure

- Looped System
 - 12" and 16" primary loop
 - 8" secondary loops
 - Fire Hydrants
- No major water main extensions are required for development
- When the area develops, the City will work with Developers to identify the necessary site-specific water mains needed



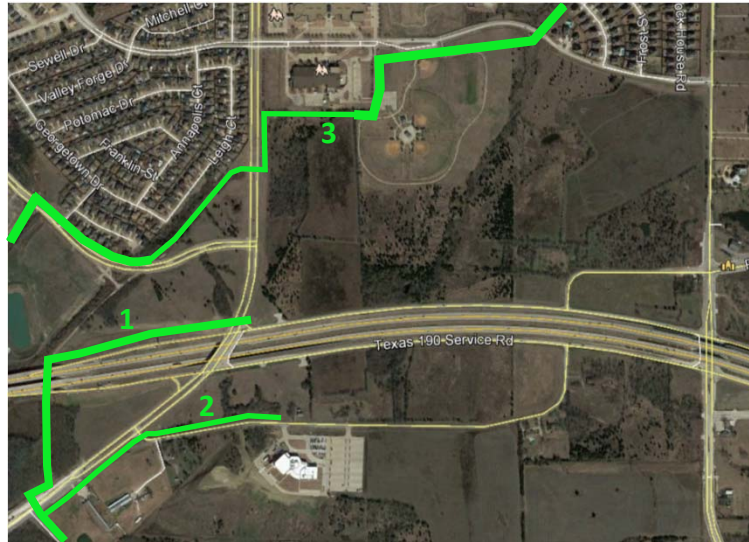
Water System – Needed Infrastructure

- A new water tower is needed in the PGBT corridor, for:
 - TCEQ Elevated Storage requirements
 - Adequate water pressure for significant development
- Project Cost: \$4M
- Funding Source:
 - Utility Fund & Impact Fees
- Project Status
 - Design complete
 - Staff seeking appraisal for land



Sewer System – Existing Infrastructure

1. 3rd Sewer Connection to Garland (24" & 30" trunk main)
2. 8" Main on Pleasant Valley
3. Bunker Hill Sewer (15" & 30" trunk main)



Sewer System – Needed Infrastructure

1. Bunker Hill Sewer Expansion
 - Project Budget: \$775,000.00
 - Funding: Impact Fees
 - Construction anticipated for Fall 2017
2. **PGBT Gravity Main**
 - Anticipated Cost: \$1.2M
 - Funding: Utility Fund
3. **PGBT Force Main**
 - Anticipated Cost: \$1.5M
 - Funding: Utility Fund
4. **Southeast Lift Station**
 - Anticipated Cost: \$2.3M
 - Funding: Utility Fund
5. **Muddy Creek Trunk Sewer**
 - Anticipated Cost: \$3.5M
 - Funding: Utility Fund



Sewer System – Option 1

- Option: Fund and construct 100% of the Capital Improvement Sewer Projects.
- Cost: \$11M
- Benefit: Meets ultimate demands for build out of the City.
- Drawback: High cost.



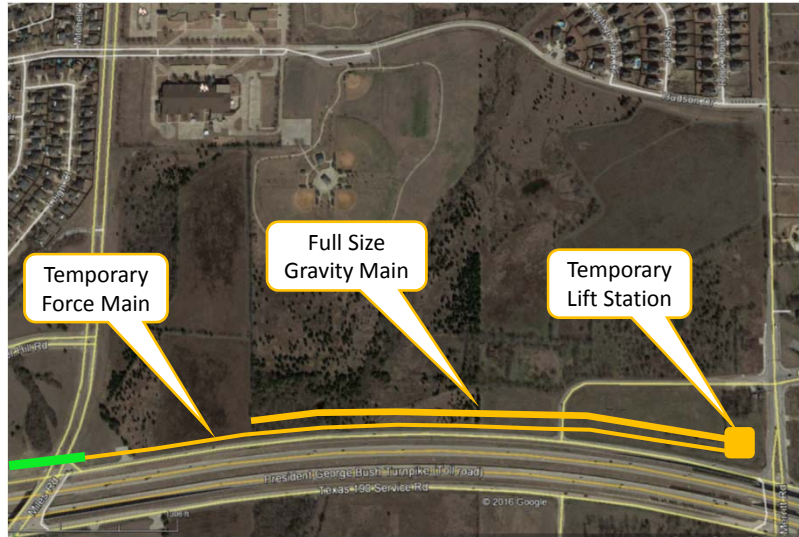
Sewer System – Option 2

- Fund and construct only the portions of the Sewer Capital Improvements needed to provide sewer to the PGBT.
- Cost: \$6M
- Benefit: Provides ability to fully sewer the PGBT corridor.
- Drawback: Does not provide the needed relief of the Merritt Road lift station, which currently takes 70% of the City's sewer flow.



Sewer System – Option 3

- Fund and construct only a portion of the PGBT sewer, with a temporary lift station and force main to facilitate development.
- Cost: \$1.5M
- Benefit: Quickly provide sewer to the western half of the PGBT area if a specific development comes in.
- Drawback: Only a short-term solution. Will need to be removed in the future.



Discussion & Next Steps

- Staff is seeking feedback on moving forward with the design and construction of infrastructure needs related to development in the turnpike district.
- Streets – the majority of needed street improvements within the turnpike district will be located and built based upon development in the district. The Merritt Road re-alignment was identified in the Comprehensive Plan as a need for development in the PGBT district. This project will be City-led, as it is not located within the turnpike district.
- Water – Design is complete on the water tower. Now that the Comprehensive Plan is complete, staff anticipates acquiring the property in 2017, with bid/construction commencing as soon as the property acquisition is complete.
- Sewer - Staff is seeking specific direction on scope for the design and construction of capital sanitary sewer projects related to development in the PGBT corridor.
- Based upon feedback received, staff will move forward with all capital projects.



City of Sachse, Texas

Legislation Details (With Text)

File #:	17-3787	Version:	1	Name:	Architecture P&Z WS 4-24-17
Type:	Discussion Item	Status:		Status:	Agenda Ready
File created:	4/20/2017	In control:		In control:	Planning & Zoning Commission
On agenda:	4/24/2017	Final action:		Final action:	
Title:	Discuss proposed revisions to Chapter 11 (Zoning) of the Code of Ordinances, to adopt Architectural Standards.				
Sponsors:					
Indexes:					
Code sections:					
Attachments:	Presentation Architectural Exhibit Proposed Regulations				

Date	Ver.	Action By	Action	Result
------	------	-----------	--------	--------

Title

Discuss proposed revisions to Chapter 11 (Zoning) of the Code of Ordinances, to adopt Architectural Standards.

Overview

- The 2017 Comprehensive Plan identified Architectural Standards as a 1st year priority
- Respondents identified high quality standards as the highest priority for Sachse's new development
- Sachse still has many commercial tracts remaining undeveloped, in addition to redevelopment opportunities
- Sachse has a masonry ordinance (i.e. anti-metal requirement), but not architectural standards
- Staff believes that architectural standards is of greater urgency than other commercial regulations, such as landscaping, parking, use chart, signage, etc.

The Ordinance

- Establishes minimum design standards for new commercial, industrial, and residential buildings
- Reviewed and approved during the permitting process
- Categorizes masonry materials into a preferred group and a secondary group
- Requires enhanced articulation and other architectural embellishments
- Regulates colors
- In conjunction, these standards ensure a minimum quality and appearance for new development in Sachse
- Relief is available through a PD or special zoning district

Policy Considerations

- Honest differences of opinion will emerge and vary regarding exterior materials and other

standards

- DFW regional standard is heavy brick, stone, & stucco
- Latest trend is to be more flexible with exterior materials (metal fascia, hardy plank, etc.) and provide more tolerance on incorporating color
- Being too prescriptive can be viewed negatively, but developers are well-accustomed to the proposed standards
- Rare & special situations may need a PD for relief
- Current standard is just anti-metal and relies upon the benevolence and pride of developers to build quality

Next Steps

- Q&A with Staff
- If needed, an additional work session with Staff to provide specific feedback on design standards
- City Council review and input
- A public hearing for adoption of the new Architectural Design standards ordinance



ARCHITECTURAL STANDARDS

P&Z WORK SESSION

APRIL 24, 2017

REQUEST

Discuss proposed revisions to Chapter 11 (Zoning) of the Code of Ordinances, to adopt Architectural Standards.

WHY ARE WE HERE?

- The 2017 Comprehensive Plan identified Architectural Standards as a 1st year priority
- Respondents identified high quality standards as the highest priority for Sachse's new development
- Sachse still has many commercial tracts remaining undeveloped, in addition to redevelopment opportunities
- Sachse has a masonry ordinance (i.e. anti-metal requirement), but not architectural standards
- Staff believes that architectural standards is of greater urgency than other commercial regulations, such as landscaping, parking, use chart, signage, etc.

HOW DOES IT WORK?

- Establishes minimum design standards for new commercial, industrial, and residential buildings
- Reviewed and approved during the permitting process
- Categorizes masonry materials into a preferred group and a secondary group
- Requires enhanced articulation and other architectural embellishments
- Regulates colors
- In conjunction, these standards ensure a minimum quality and appearance for new development in Sachse
- Relief is available through a PD or special zoning district

IMPORTANT TO NOTE

- Honest differences of opinion will emerge and vary regarding exterior materials and other standards
- DFW regional standard is heavy brick, stone, & stucco
- Latest trend is to be more flexible with exterior materials (metal fascia, hardy plank, etc.) and provide more tolerance on incorporating color
- Being too prescriptive can be viewed negatively, but developers are well-accustomed to the proposed standards
- Rare & special situations may need a PD for relief
- Current standard is just anti-metal and relies upon the benevolence and pride of developers to build quality

NEXT STEPS

- Q&A with Staff
- If needed, an additional work session with Staff to provide specific feedback on design standards
- City Council review and input
- A public hearing for adoption of the new Architectural Design standards ordinance

Introduction to Building Materials

The purpose of architectural guidelines is to set minimum standards for the appearance and quality of non-residential buildings and corresponding site elements which are recognized as enhancing property values and are in the interest of the general welfare of the City of Sachse.

The current architectural standards for Sachse require 100% masonry construction for exterior walls of commercial buildings. The current definition of masonry includes aggregate, brick, split-face CMU, cinder block, stone, tilt wall, stucco, and tile, and prohibits the use of EIFS, wood, metal, and cementitious fiber board for commercial purposes. The resulting effect is a 100% masonry building; however, sometimes a developer, for cost reasons, will choose masonry products that are not always perceived to be aesthetically pleasing, or design buildings without additional architectural enhancements.

Other cities typically manage this large pool of building materials by categorizing them into a preferred list of masonry materials required for application to a certain percentage of the building, a list of residual masonry materials for the balance of the building, a list of materials allowed only for accents, and a prohibited list of materials. This brochure is intended to provide a rudimentary introduction to the most common building materials so that each material can be placed in one of the 4 following categories: Group A, Group B, Group C (accents), and Prohibited.

Group A masonry materials will be the primary products of which the City prefers commercial buildings to be predominantly constructed. **Group B** masonry materials will be the secondary products of which the City recognizes as masonry materials acceptable for commercial use, but also as products that should not be the predominant material for a commercial building. **Group C (accent)** materials will be products appropriate for accents on buildings in limited application. **Prohibited** materials will be building materials that are undesirable for commercial application.

Currently Proposed in Ordinance

TABLE A	
Categories	Materials
Group A	Brick Stone
Group B	Stucco Split-Face CMU Tilt-Wall (colored and stamped or scored) Cementitious Fiber Board (20% max)
Group C (Accent/Finishing)	Metal Tile Wood EIFS (only when above grade by 14')
Prohibited	Concrete Block Aggregate Vinyl/Plastic

Aggregate



The use of aggregate is uncommon on commercial buildings and is most commonly found on industrial and utility buildings; however, it is currently allowed by ordinance. Staff believes this material is undesirable for commercial use, yet acceptable for industrial application, and recommends it be placed in the **Prohibited** category with no provision for an exception for commercial buildings (and **Category B** for industrial uses).

Brick



Brick is one of the most common and durable commercial exterior products, and its use throughout history and DFW is extensive. Staff recommends this material be placed in the **Group A** category as a desirable exterior material on commercial buildings.

Concrete Cinder Block



Concrete block, whether sealed and painted or not, is currently allowed by ordinance and not necessarily an uncommon building material. Staff believes this material is undesirable for commercial use, yet acceptable for industrial application, and recommends it be placed in the **Prohibited** category with no provision for an exception for commercial buildings (and **Category B** for industrial uses).

Split-Face CMU (architectural block)



Architectural “split-face” concrete masonry units (CMU) is a common exterior material on commercial buildings that is used throughout DFW. It is a concrete block that is “split” to give it a rough, quarried stone surface texture. Staff believes that this material is acceptable for commercial application, but is not desirable as a predominant building material and recommends it be placed in the **Group B** category.

EIFS



Exterior insulation and finish systems (EIFS) is a common exterior material used as an accent on commercial buildings, such as along cornice lines, and is usually only allowed higher on exterior elevations to control moisture issues. Staff believes that this material is acceptable for limited commercial application for accents, but is not desirable as a general exterior building material and recommends it be placed in the **Group C (accents)** category.

Cementitious Fiber Board



Cementitious fiber board (cka Hardy Plank) is a very common façade for residential and multi-family buildings, and it is not necessarily uncommon for commercial buildings. It is not currently allowed by ordinance, though it is allowed for accents. Cementitious fiber board can be found in limited application on several commercial buildings in the area, and it is often proposed to give a Cape Cod seaside or other themed appearance for commercial use. Staff believes this material is acceptable for limited commercial use, and recommends it be placed in the **Group B** category, with a maximum usage of 20% on any one elevation.

Metal/Tile/Wood

These materials are not allowed by current ordinance. Staff believes that these materials should be allowed for limited application as **Group C (accent)** materials on outstanding architectural design features like exposed beams, arches, and other elements. Current ordinance does allow for that as well.

Stone



Stone is one of the most common and durable commercial exterior products, and its use throughout history and DFW is extensive. Stone can be in the form of limestone, granite, slate, marble, flagstone, and many other types and can be both natural and manufactured/synthetic. Staff recommends this material be placed in the **Group A** category as a desirable exterior material for commercial buildings.

Stucco



Stucco is a common exterior material used both as an accent on commercial buildings and sometimes as a primary building material. Staff believes that this material is acceptable for commercial application, but is not desirable as a predominant building material and recommends it be placed in the **Group B** category to ensure that it is mixed with stone or brick.

Tilt Wall



Tilt wall concrete panels (stamped and/or colored) are a common exterior material usually used for larger scale buildings. Staff believes that this material is acceptable for commercial application, but is not desirable as a predominant building material and recommends it be placed in the **Group B** category.

Masonry Percentages

Once the above masonry products are categorized according to local preferences and values, percentages of each category would be prescribed to primary and secondary facades. **Primary Facades** are exterior walls of buildings which are clearly visible from a public street or along an active storefront. **Secondary Facades** are exterior walls of buildings 15,000 square feet or larger which are NOT clearly visible from a public street or along an active storefront. The below table illustrates the proposed percentages of each masonry category.

TABLE B		
Facades	Percentage Breakdown	Definition
Primary	70% Group A 30% Group B	Exterior walls of buildings which are clearly visible from a public street or along an active storefront
Secondary	20% Group A 80% Group B	Exterior walls of buildings 15,000 square feet or larger which are NOT clearly visible from a public street or along an active storefront

Introduction to Architectural Enhancements

In addition to required masonry percentages, certain additional architectural enhancements are also encouraged and required throughout the ordinance. Below is a walk-thru of the various design enhancements proposed within the ordinance.

Tri-Partite Architecture

The proposed ordinance requires buildings to have a distinct base, middle, and top, separated by horizontal elements.



Examples of Single Story Tri-Partite

Mix of Materials

The proposed ordinance requires buildings to use a mix of masonry materials in order to limit monolithic appearances and provide visual interest.



Windows

The proposed ordinance requires buildings to provide windows or faux windows elements that create a comparable visual, such as decorative brickwork, insets of varying materials/colors, or other similar features. Below is a secondary façade of an Aldi.



Roof Regulations

The proposed ordinance requires non-residential buildings to provide enhanced roofing (slate, tile, or standing seam metal), if they are using a pitched roof instead of parapets.



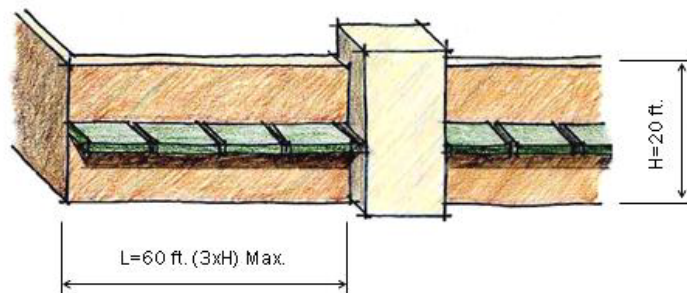
Color Regulations

The proposed ordinance would require buildings to use earth tone colors and regulate the use of bright, high intensity colors. Below is a retail mechanic shop using earth tone colors along with limited bright colors for signage and on the canopy to maintain branding without negatively impacting the visual environment. In contrast is another picture of a retail building.

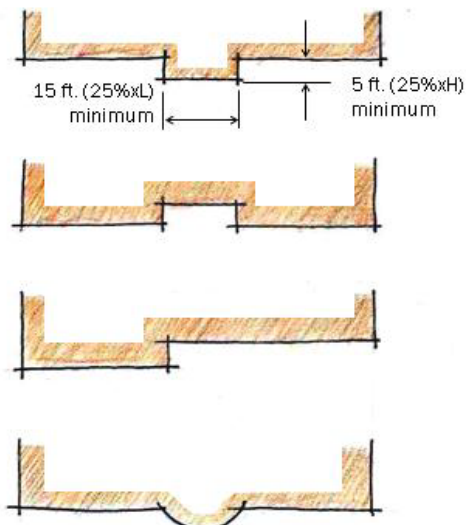


Articulation Requirements

The proposed ordinance requires buildings to provide both horizontal and vertical articulation.

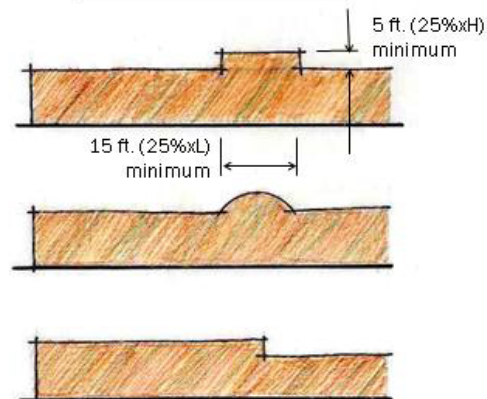


HORIZONTAL Articulation



Possible PLANS

VERTICAL Articulation



Possible ELEVATIONS



Landmark Buildings

The proposed ordinance requires buildings located on axis with a terminating street or major access lane or at the intersection of streets and/or major access lane to be designed with landmark features which take advantage of that location, such as an accentuated 3D entry.



Auxiliary Design Standards

The proposed ordinance requires all structures to incorporate no less than four of the architectural elements from the list of features in the ordinance. Buildings over 50,000 square feet must include a minimum of five of the referenced architectural elements.

Industrial Building Standards

The proposed ordinance provides design guidelines for industrial buildings.

Residential Standards

The proposed ordinance provides design guidelines for residential buildings.

Other Design Guidelines

Additional design guidelines can be found within the ordinance. This exhibit was intended to highlight the more prominent regulations proposed. Please contact Staff with any questions.

Architectural Design Standards.

A. *Purpose.* The purpose of the architectural standards is to set minimum standards for the appearance and quality of buildings and corresponding site elements which are recognized as enhancing property values and are in the interest of the general welfare of the City of Sachse. These standards are not intended to prohibit architectural innovation, nor are they intended to mandate specific architectural styles and concepts. Rather, they are intended to provide for developments of enduring quality that provide visual character and interest. The development community is encouraged to seek out new and innovative ways to implement the standards contained herein that will result in a significant contribution to the visual character of the area and the city as a whole.

B. Applicability and Administration.

1. The regulations provided in this subsection shall apply to all new construction and all structures within all zoning districts, but shall only apply to single family residential uses when indicated. Where the regulations of this subsection conflict with other sections or provisions of this chapter, the regulations of this subsection shall apply.
2. When an existing building, constructed prior to the effective date of this ordinance, is proposed for an addition/expansion that will increase the square footage of the existing building by less than 25 percent, either by a single expansion or by the cumulative effect of a series of expansions, similar or like exterior materials may be used on new facades that match the existing building and architectural theme to the extent possible. New façade walls of any addition that is 30 percent or greater (of the originally approved floor area) shall be subject to the regulations herein. At all times an increase of the originally approved floor area resulting in a 50 percent or greater expansion shall reconstruct the entire exterior veneer to be in compliance with the architectural requirements contained herein.
3. All repair of exterior facades, including paint and re-paint jobs, of non-residential buildings are required to obtain a permit from the City and comply with all applicable color regulations contained herein.
4. Certain structures, such as temporary construction buildings or portable classroom buildings situated on public school property, may be exempt, in compliance with established or future policies adopted by the City Council of Sachse.
5. The provisions of this section shall be administered by the Director who shall have the authority to approve any façade plan that is deemed to satisfy the minimum requirements of this section and to make necessary interpretations regarding any subjectivity or frustration of purpose contained herein.
6. The City Council, in compliance with all applicable regulations, may issue a Special Use Permit (SUP) or establish a Planned Development (PD) district or other special

zoning district, which may amend or revise the regulations herein for a certain project or area of the City.

7. Single Family tracts with existing PDs which also include architectural standards may continue to apply the standards as found in the governing PD. Non-residential tracts and uses with existing PDs shall be governed by the standards contained herein.

C. Façade Plan Approval.

1. Prior to any construction permit being issued, a project's building elevations must be approved by the Director.
2. Sufficient information shall be submitted to evaluate the architectural standards criteria outlined herein as part of the site plan submittal for all newly proposed and existing structures seeking a permit.
3. Color elevations shall include:
 - a. All facades (whether four or more) of each building.
 - b. Proposed exterior materials with a percentage breakdown of each material used, exclusive of windows and doors.
 - c. A calculation chart or graphic demonstrating compliance with the Articulation standards.
 - d. A listing of the selected Auxiliary Design standards, described herein, to illustrate compliance. If a Landmark Feature is required of the building, please note the feature proposed for credit.
 - e. A notation reading, "Roof mounted mechanical equipment shall be sufficiently screened from view by parapet walls, and ground mounted equipment shall be enclosed by masonry wing walls that match the material of the primary building."
 - f. A notation reading, "All light sources, including wall packs, shall be full cut-offs (i.e. recessed/shielded)."
 - g. For any proposed streetscape elements (such as bike racks, trash receptacles, lampposts, tree grates, bollards, outdoor seating, and/or other street furniture) or screening devices (masonry walls, dumpster screening enclosures, wing walls around mechanical equipment, etc.), graphics should also be submitted showing the material, color, height, and any other pertinent details necessary for review.

D. Definitions.

Residential buildings shall mean those buildings utilized for a single family, duplex, and townhome dwelling.

Non-residential building shall mean those buildings utilized for use other than single family, duplex, and townhome dwelling, to specifically include commercial, retail, medical, office, and multi-family structures and associated accessory structures.

Masonry materials shall mean and include that form of construction defined below and composed of brick, stone, granite, marble, stucco (3-step hard coat), decorative concrete masonry unit, tilt wall concrete panels, sealed and painted concrete block, and exterior insulation finish systems (EIFS), and rock or other materials of equal characteristics laid up unit upon unit set and bonded to one another in mortar.

Brick includes Severe Weather rated kiln fired clay or slate material, can include concrete brick if it is to the same ASTM C216 or C652 standard and severe weather rated as typical fired clay brick; minimum thickness of two and one quarter inches when applied as a veneer, and shall not include underfired clay, sand, or shale.

Stone includes naturally occurring granite, marble, limestone, slate, river rock, and other similar hard and durable all weather stone that is customarily used in exterior building construction; may also include cast or manufactured stone product, provided that such product yields a highly textured stone-like appearance, its coloration is integral to the masonry material and shall not be painted on, and it is demonstrated to be highly durable and maintenance free; natural or manmade stone shall have a minimum thickness of three and five eighths inches when applied as a veneer.

Architectural Concrete Masonry Units includes highly textured finish, such as split faced, indented, hammered, fluted, ribbed, burnished, or similar decorative finish; coloration shall be integral to the masonry material and shall not be painted on; minimum thickness of three and five eighths inches when applied as a veneer; shall include light weight and featherweight decorative masonry units.

Director shall mean the Director of Development Services, or his/her designee.

Big Box shall mean a building, usually with a single tenant, which comprises more than 50,000 square feet.

E. *Exterior materials.*

1. Category A materials are the primary products which the City prefers commercial buildings to be predominantly constructed. Unless otherwise provided for in this chapter, acceptable Category A masonry finishing materials are brick and stone.
2. Category B materials are the secondary products which the City recognizes as masonry materials acceptable for commercial use, but also as products that should not be the predominant material for a building. Unless otherwise provided for in this chapter, acceptable Category B masonry finishing materials are stucco, architectural concrete block with integrated color (split-face CMU), concrete tilt wall (colored and stamped or scored), exterior insulation and finish systems (EIFS -- above 14 feet from grade only), and cementitious fiberboard with integrated color (in the form of lap siding or board and batten not to exceed 20%).
3. Category C materials are accent products acceptable in limited application for

architectural features and finishes, such as window heads and cornice flashings, subject to discretionary determination by the Director. Unless otherwise provided for in this chapter, acceptable Category C materials are metal, tile, wood, and EIFS (above 14 feet from grade only).

4. Prohibited exterior surface materials include cinder block, vinyl, plastic, and aggregate pea-gravel finished surfaces.

TABLE A	
Categories	Materials
Group A	Brick Stone
Group B	Stucco Split-Face CMU Tilt-Wall (colored and stamped or scored) Cementitious Fiber Board (20% max)
Group C (Accent/Finishing)	Metal Tile Wood EIFS (only when above grade by 14')
Prohibited	Concrete Block (Category B for Industrial) Aggregate (Category B for Industrial) Vinyl/Plastic

F. *Non-residential and multifamily design elements.* The following apply to nonresidential and multifamily development, including institutional buildings:

1. *Goals and intent.*

- a. Buildings should be constructed in a manner that allows flexibility to accommodate a range of uses over time in order to avoid the need to demolish and rebuild for successive uses.
- b. Buildings should directly contribute to the attractiveness, safety, and function of the street and public areas.
- c. Buildings should be constructed in a manner, and with materials, that are highly durable and will continue to endure and be attractive over a long time, especially adjacent to public and pedestrian areas.
- d. It is not the intent of this section to discourage innovation. The use of exceptional design features, such as tower elements, exposed beams, or other unique and outstanding architectural ornamentation worthy of merit that make a positive contribution to the surrounding visual environment is encouraged.

2. *General design standards.*

- a. All buildings within a common development or shopping corner/corridor, as shown on a development plan, concept plan, or preliminary site plan, or viewed from an aerial map, should have similar architectural styles, materials, colors, and detailing that compliment and talk to each other without necessarily being monotonous and precise reflections of one another.
- b. All structures shall be architecturally finished on all four sides with similar styles, materials, colors, and detailing.
- c. Facades shall generally be built parallel to the street frontage, except at street intersections, where a facade containing a primary building entrance should be curved or angled toward an intersection.
- d. All buildings shall be designed and constructed in tri-partite architecture so that they have a distinct base, middle, and top, separated by horizontal elements.
- e. All buildings shall be constructed of 100 percent masonry finishing material, as outlined in Table B. At least two (2) masonry materials shall be used on all exterior facades. Stone, with Director approval, can be an exception to this rule.
- f. Roofs shall be peaked with either hip, gable, or mansard design with a minimum 1:4 pitch, or a parapet wall or false mansard design (minimum 1:2 pitch) is acceptable only if constructed around the entire perimeter of a building so that no flat roof shall be visible from a public street or along an active storefront. At all times roof-mounted mechanical equipment shall be screened from view.
- g. For buildings with a visible hip, gable, or mansard roof, allowed materials include metal (standing seam), slate, or tile (clay or cement, barrel or Roman-shaped).
- h. Windows and glazing shall be limited to a minimum of 10 percent and maximum of 70 percent of each building elevation. Faux windows or elements that create a comparable visual, such as decorative brickwork, insets of varying materials/colors, or other similar features, are allowed, subject to discretionary review and approval by the Director. All windows should be recessed a minimum 4" from exterior wall finish.
- i. Murals cannot display or connote a commercial message without abiding by the Sign regulations, as found within the Code of Ordinances.
- j. All streetscape elements and site amenities, such as bike racks, trash receptacles, lampposts, benches, bollards, patio furniture, and tree grates, shall be metal, rust and flake/chip resistant, and generally be black "storm cloud" in color. Minor deviations in color and design that maintain the spirit and intent of the ordinance are allowed with Staff approval. Bollards can be concrete or cast metal and shall

be of decorative design with no bold colors or sleeves.

3. *Primary facade design standards.* The following shall apply to all exterior walls of buildings which are clearly visible from a public street or along an active storefront:
 - a. Walls, excluding windows, doors and other openings, shall be constructed of a minimum 70 percent Group A materials and a maximum of 30 percent Group B materials.
 - b. A Big Box may use architectural block (e.g. split-face CMU) for up to 10 percent of the primary facade, in addition to the 30 percent of Group B materials.
 - c. All exterior walls of buildings less than 15,000 square feet are considered primary facades, regardless of orientation.
 - d. Primary facades shall incorporate patterns that include changes in either color, material, pattern, module size, texture, articulation, ornamentation, or a combination thereof that repeat horizontally and vertically.
4. *Secondary facade design standards.* The following shall apply to all exterior walls of buildings 15,000 square feet or larger which are NOT clearly visible from a public street or along an active storefront, or are constructed on a property line as one of a series of in-line buildings where the wall will become part of a common wall:
 - a. Walls, excluding windows, doors, and other openings, shall be constructed of a minimum 20 percent Group A materials and a maximum of 80 percent Group B materials. However, the color of the walls shall match the primary facades.
 - b. Secondary facades which are adjacent to the primary facade should continue the primary facade treatment by wrapping the corner. This may be achieved with elements such as cornices, bases, and vertical elements. In all cases, however, wall surface materials shall wrap the corner.
 - c. Visual relief shall be provided, both horizontally and vertically, to break up monolithic expanses of secondary facades through the use of repeating patterns.

TABLE B		
Facades	Percentage Breakdown	Definition
Primary	70% Group A 30% Group B	Exterior walls of buildings which are clearly visible from a public street or along an active storefront
Secondary	20% Group A 80% Group B	Exterior walls of buildings 15,000 square feet or larger which are NOT clearly visible from a public street or along an active storefront

5. *Building articulation design standards.* Primary facades clearly visible from a public street or along an active storefront shall meet the following minimum standards for articulation:

- a. *Horizontal articulation.* No building wall shall extend for a distance equal to three times the wall's height without providing an offset equal to 15 percent of the wall's height, and that new plane shall extend for a distance equal to at least 25 percent of the maximum length of the first plane.
- b. *Vertical articulation.* No wall length shall extend for a distance greater than three times the height of the wall without changing height by a minimum of 15 percent of the wall's height, and that new plane shall extend for a distance equal to at least 25 percent of the maximum length of the first plane. Pitched roofs shall count toward achieving vertical articulation, provided they are 65 degrees or less from horizontal.

6. *Landmark Buildings.*

- a. Buildings which are located on axis with a terminating street or major access lane or at the intersection of streets and/or major access lane shall be considered a landmark building.
- b. Such buildings shall be designed with landmark features which take advantage of that location, such as an accentuated 3D entry and a unique building articulation which is offset from the front wall planes and goes above the main building eave or parapet line.
- c. Landmark features shall be in proportion to the building and are subject to review and approval by the Director.

7. *Building Color.*

- a. The dominant color of all buildings, including residential and industrial buildings, shall be muted shades of color that are subtle, neutral, or earth tone. Black and stark white should not be used except as an accent color or as found within brick and stone. The color of the secondary facades shall match or compliment the primary façade.
- b. There are no restrictions on accent colors which comprise less than one percent of the building face, except that no high intensity colors, neon colors, or fluorescent colors shall be used on exterior surfaces of the building.
- c. Bright, reflective, pure tone primary or secondary colors are permissible only in limited application as accent colors on canopies and awnings, or other such

features. Proportions should be consistent with trim or accentuation only. Such building trim and accent areas shall not exceed 5 percent of any single exterior wall area. Specifically excluded are door and window frames, moldings, cornices, and other such features. This provision shall not be construed as a license to employ corporate imaging on the primary building facade.

- d. The use of high intensity or fluorescent colors shall be prohibited. The use of tube lighting, string lights, or other similar materials shall not be installed on non-residential buildings, except as allowed by the Photometric/Lighting regulations, as found within the Code of Ordinances.
 - e. No more than one color shall be used for visible roof surfaces; however, if more than one type of roofing material is used, the materials shall be varying hues of the same color.
8. *Auxiliary design standards.* All structures shall be designed to incorporate no less than four of the architectural elements from the list below. Buildings over 50,000 square feet must include a minimum of five of the referenced architectural elements.
- a. Canopies, awnings, porticos with colonnade or arcades;
 - b. Raised pilaster cornices (end columns at corner), or quoined corners;
 - c. Vertical elements (tower, cupola, lighthouse, turret, arches, etc);
 - d. Windows and doors framed with smooth cobble, cast stone, limestone or other decorative masonry headers and sills; or dormer windows;
 - e. Outdoor patios and/or courtyards integrated into a site's layout that creates a sense of place (landscaped and furnished for informal and experiential gathering);
 - f. Decorative and repetitive ornamentation (non-signage) integrated into the building facade, such as corbels, medallions, functioning clocks, niches, wrought iron, balconettes, gargoyles, or horizontal and rhythm patterned brickwork;
 - g. Other architectural features approved by the Director.

G. *Industrial building design standards.* The following apply to structures constructed in an industrial zoning district and proposing an industrial and/or manufacturing use, per the use chart of the zoning ordinance:

- 1. The main entry or office area of the building shall be articulated both horizontally and vertically by at least two feet or 10 percent of the adjacent wall length, whichever is greater. Building corners shall also be articulated, as approved by the Director.

2. Primary exterior facades which are clearly visible from a public street shall be constructed with a minimum ten percent Group A materials and up to 90 percent Group B materials. The Group A materials noted above shall be applied to corners, entries, and other areas in order to mitigate monotony and increase aesthetics. A minimum of two different materials shall be used on primary facades.
3. Secondary exterior facades not facing a public street may be constructed with up to 100 percent Group B materials.
4. For industrial buildings, cinder block and aggregate may be considered as Category B masonry materials. The Director has authority to declare certain structures with inherent industrial like use, such as cabinet structures associated with communication towers, to be industrial for the purposes of this ordinance.
5. A uniform color scheme is required. Colors shall be neutrals, creams, pastels, or deep, rich, non-reflective, natural, or earth-tone colors. Bold reds, greens, oranges, and other “hot and cold” colors should be avoided.
6. Structures shall incorporate two of the auxiliary design standards.

H. *Residential Design Standards.* The following architectural design standards shall apply to all single-family residential and duplex development:

1. The exterior finishes of a main building or structure in all districts shall be constructed of 100 percent masonry finishing material that is comprised of brick, stone, stucco, or a combination thereof.
2. Cementitious fiberboard or EIFS may be used for architectural features, including window box-outs, bay windows, roof dormers, columns, chimneys not part of an exterior wall, or other architectural features approved by the Director.
3. The primary residential structure shall incorporate a minimum three (3) of the following “gifts to the street” into each front elevation:
 - a. Incorporation of at least two (2) allowed masonry materials (brick, stone, stucco).
 - b. Gables, or other comparable vertical articulation
 - c. Dormers
 - d. Covered porch not less than 4 feet deep
 - e. Recessed entry not less than 4 feet
 - f. Architectural garage door
 - g. Architectural pillars or posts
 - h. Bay window facing street, or other comparable horizontal articulation
 - i. Brick chimney on exterior front or side yard
 - j. Minimum roof pitch 8:12 or variable roof pitch
 - k. Separate transom windows
 - l. Cast stone accents
 - m. Cupolas or turrets

- n. Garage door not facing street
- o. Roof accent upgrades (tile, slate, standing seam metal)

I. *Other Site Area Standards.*

1. *Gas pumps and fueling stations.*

- a. Roofs of the associated pump canopy of convenience store buildings shall not be flat or straight-lined, and should be noticeably pitched or otherwise distinguished, subject to review and approval by the Director.
- b. Canopy columns shall be fully encased with Category A masonry materials that match the main building.
- c. The canopy band face shall be flat with no projections or stripes, be non-plastic and generally a metal or masonry based material, be primarily one earth-tone color that matches or accents the primary building, may not be backlit or otherwise illuminated or used as signage, and should generally be no greater than 4 feet in height, except as follows:
 - i. The canopy band face may utilize one small button logo on each face that can be internally illuminated, as long as each button logo does not exceed 15 square feet for bands 3' in size and 20 square feet for bands 4' in size, is generally as tall as it is wide, and does not protrude more than 18 inches from the canopy in any direction.
 - ii. The canopy band face may utilize an external LED halo type light, if properly shielded/recessed and oriented downward/upward so that only the "wash" is visible.
 - iii. The canopy band face may utilize internally illuminated rings, as long as the source is LED, it is flush with the band face and only protrudes nominally (up to a maximum of 6"), and the size of the ring does not exceed more than 25% for single rings and 50% for multiple rings of the thickness of the canopy band face.
 - iv. The canopy band face shall provide 12" decorative metal address numbers of a contrasting color on street facing sides.
- d. Exhaust valves for underground fuel storage tanks shall be designed to be located against a building, dumpster, screening wall, or other structure to mitigate their visual impact and should be an earth-tone color. If impractical, the exhaust valves may be located in an interior landscape area, if properly screened, but should not be located in the exterior landscape buffer adjacent to the public right-of-way.

2. *Mechanical equipment.*

- a. Exposed conduits, ladders, exhaust valves, utility boxes and drain spouts shall be a color matching the building, an accent color, or other earth-tone color.
- b. Outside equipment, coolers, and/or other mechanical items shall be screened in accordance with the screening standards of the zoning ordinance, or be enclosed by a wing wall with a Category A masonry finishing material matching the primary building.
- c. All new utilities shall be underground.
- d. Shopping cart return bins for uses such as grocery stores shall be Category A masonry and permanently affixed to the ground.

3. Accessibility & Layout.

- a. Pedestrian connections, both internal and connecting to external sidewalks or property boundaries, shall be provided, subject to discretionary review and approval by the Director.
- b. Cross access to adjacent lots shall be provided at all times for both vehicular and pedestrian travelers.
- c. Bay doors shall not be oriented toward the right-of-way.
- d. Drive-thru facilities shall provide sufficient stacking spaces, as determined by the Director.
- e. The final layout of any proposed development, including building placement, parking lots, fire lanes, gates, dumpster locations, and other site elements, shall be determined by the Director.