



Sachse, Texas

Sachse City Hall
3815-B Sachse Road
Sachse, Texas 75048

Meeting Agenda City Council

Monday, June 16, 2014

7:30 PM

Council Chambers

The Mayor and Sachse City Council request that all cell phones and pagers be turned off or set to vibrate. Members of the audience are requested to step outside the Council Chambers to respond to a page or to conduct a phone conversation.

The City Council of the City of Sachse will hold a Regular Meeting on Monday, June 16, 2014, at 7:30 p.m. in the Council Chambers at the Sachse City Hall, 3815 Sachse Road, Building B, Sachse, Texas to consider the following items of business:

Invocation and Pledges of Allegiance to U.S. and Texas Flags.

A. Pledge of Allegiance to the Flag of the United States of America: I pledge allegiance to the flag of the United States of America, and to the Republic for which it stands: one nation under God, indivisible, with liberty and justice for all.

B. Pledge of Allegiance to the Texas State Flag: Honor the Texas flag; I pledge allegiance to thee, Texas, one state under God, one and indivisible.

1. CONSENT AGENDA.

- 1.a ALL ITEMS LISTED ON THE CONSENT AGENDA WILL BE CONSIDERED BY THE CITY COUNCIL AND WILL BE ENACTED BY ONE MOTION, THERE WILL BE NO SEPARATE DISCUSSION OF THESE ITEMS UNLESS A COUNCIL MEMBER OR CITIZEN SO REQUESTS.

14-2272 Consider approval of the minutes of the June 2, 2014, regular meeting.

Executive Summary

Minutes from the recent Council meeting.

Attachments: Minutes 06.02.14.pdf

14-2284 Consider a resolution of the City Council of the City of Sachse, Texas authorizing the procurement of a crack seal machine in an amount not to exceed \$ 50,000 and authorizing the City Manager to purchase the same.

Executive Summary

Resolution providing for authorization to purchase one crack seal machine.

Attachments: [Res.Crack seal machine.pdf](#)
[Crack Seal Machine Quote.pdf](#)

**2. MAYOR AND CITY COUNCIL ANNOUNCEMENTS REGARDING SPECIAL EVENTS,
CURRENT ACTIVITIES, AND LOCAL ACHIEVEMENTS.**

14-2273 Recognition of service to the for City for Mr. Paul Watkins.

Executive Summary

Paul Watkins has resigned his seat on the Planning & Zoning Commission, as required by the City Charter to accept his seat on the City Council, and this item is to recognize his service to the City.

Attachments: [Certificate. Paul Watkins.pdf](#)

3. CITIZEN INPUT.

The public is invited at this time to address the Council. The Mayor will ask you to come to the Microphone and state your name and address for the record. If your remarks pertain to a specific Agenda item, please hold them until that item, at which time the Mayor may solicit your comments.

The City Council is prohibited from discussing any item not on the posted agenda according to the Texas Open Meetings Act.

4. REGULAR AGENDA ITEMS.

14-2271 Consider appointment to the Planning and Zoning Commission.

Executive Summary

Council to make appointment to the Planning and Zoning Commission vacancy.

14-2227 Consider the application of Huffines Communities requesting a waiver from the Code of Ordinances, Chapter 8 Subdivisions, to permit the design and construction of a non-standard roadway in the City of Sachse, Texas.

Executive Summary

The Applicant seeks to design and construct a street in the City of Sachse, and is requesting a waiver from the Code of Ordinances in three parts, including three non-standard roadway sections. The Applicant has provided a written narrative, including reasons for their request of a waiver. Section 8-8 Waivers of Chapter 8 Subdivisions of the Code of Ordinances of the City of Sachse, Texas, authorizes the City Council of the City of Sachse to grant a waiver of the Subdivision Ordinance under specific circumstances as outlined in Section 8-8.

Attachments: [1 Property Location PDF](#)
 [2 Requested Street Alignment PDF](#)
 [3 Street Plan Profile PDF](#)
 [4 Applicant Narrative PDF](#)
 [5 Engineers Drainage Analysis PDF](#)
 [6 Subdivision Ordinance Section 8-16 PDF](#)
 [7 Subdivision Ordinance Section 8-19](#)
 [8 Standard Construction Details - Section 2A and 2C](#)
 [WAIVER REQUEST PRESENTATION PDF](#)

- 14-2281 Presentation by and discussion with staff of Economists.com regarding the results of the 2014 Water and Wastewater Rate Study and Financial Forecast.

Executive Summary

Dan Jackson and Rebecca Schafer of Economists.com will present the results of the 2014 Water and Wastewater Rate Study and Financial Forecast to the City Council.

Attachments: [2014 06 16 SACHSE COUNCIL WORKSESSION.pdf](#)

- 14-2279 Discuss the City of Sachse budget forecast for the next three years.

Executive Summary

The City Manager and Finance Director will present a multi-year financial forecast. The Council will have the opportunity to provide input prior to the July 12th City Council Budget Workshop.

Attachments: [Multi Year Budget Forecast 6-16-2014.pdf](#)

- 14-2246 Discuss and Consider the TAPS (Texoma Area Paratransit System) program which provides public transportation for Sachse residents.

Executive Summary

City of Sachse residents that are eligible to use the TAPS (Texoma Area Paratransit System) program for rides to and from communities in their service area. Fees are reduced to make TAPS trips more affordable with costs being subsidized by the North Central Texas Council of Governments (NCTCOG) for the fiscal year 2014 period. TAPS took over the transportation program from CCART (Collin County Area Regional Transportation) public transportation system which only served Collin County residents prior to the current fiscal year.

The program is funded by federal funds that NCTCOG issues to the program. NCTCOG has access to sufficient funds to fund the program through September 30, 2014. After September 2014, federal funds will continue to partially fund TAPS, and the remainder of the funds will come from cities that use the TAPS service in Collin County. If Sachse continues with TAPS, there will be an annual cost of \$2,500 starting in fiscal year 2015. TAPS representatives presented at the June 2, 2014 City Council meeting. There were several questions and concerns that City Council wanted to be addressed before committing to the program. We feel we have sufficient information from TAPS to move forward on a decision tonight.

Attachments: [TAPS-CityPresentation6-16-14.pdf](#)

14-2274

Consider appointment of Council Liaisons to Boards, Commissions and organizations.

Executive Summary

Each year after the election, Council makes these member appointments.

5. ADJOURNMENT.

Vision Statement: Sachse is a friendly, vibrant community offering a safe and enjoyable quality of life to all who call Sachse home.

The City of Sachse reserves the right to reconvene, recess or realign the regular session or called Executive Session or order of business at any time prior to adjournment. Note: The Sachse City Council reserves the right to convene into Executive Session pursuant to the Texas Government Code, Title 5, Chapter 551 regarding posted items on the regular meeting agenda.

State law prohibits the introduction or discussion of any item of business not posted at least seventy-two (72) hours prior to the meeting time. Therefore, during Citizen Input for example, the Council is prohibited by state law to deliberate or take action on any issues introduced by the public other than to take them under advisement. Posted: June 13, 2014; 5:00 p.m. Terry Smith, City Secretary _____.

If you plan to attend this public meeting and you have a disability that requires special arrangements at the meeting, please contact Terry Smith, City Secretary, at (972) 495-1212, 48 business hours prior to the scheduled meeting date. Reasonable accommodations will be made to assist your needs.



Legislation Details (With Text)

File #: 14-2272 **Version:** 1 **Name:** Consider approval of the minutes of the June 2, 2014, regular meeting.
Type: Agenda Item **Status:** Agenda Ready
File created: 6/5/2014 **In control:** City Council
On agenda: 6/16/2014 **Final action:**
Title: Consider approval of the minutes of the June 2, 2014, regular meeting.

Executive Summary
Minutes from the recent Council meeting.

Sponsors:

Indexes:

Code sections:

Attachments: [Minutes 06.02.14.pdf](#)

Date	Ver.	Action By	Action	Result
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Title

Consider approval of the minutes of the June 2, 2014, regular meeting.

Executive Summary

Minutes from the recent Council meeting.

Background

Minutes from a recent Council meeting on June 2, 2014, for review and approval.

Policy Considerations

Not applicable.

Budgetary Considerations

Not applicable.

Staff Recommendations

Approval of the minutes of the June 2, 2014, regular meeting, as a Consent Agenda Item.

**REGULAR MEETING
OF THE
CITY COUNCIL OF THE CITY OF SACHSE**

JUNE 2, 2014

The City Council of the City of Sachse held a Regular Meeting on Monday, June 2, 2014 at 7:30 p.m. at the Sachse City Hall after proper notice. The roll of the duly constituted City Council Members was called which members are as follows, to wit:

Mayor Mike Felix
Mayor Pro Tem Bill Adams
Councilman Charles Ross
Councilman Brett Franks
Councilman Todd Ronnau
Councilman Cullen King
Councilman Jeff Bickerstaff

and all were present.

Staff present: City Manager Billy George, City Secretary Terry Smith, Administrative Assistant Cathy Cade, Community Development Interim Director Michael Spencer, Police Chief Dennis Veach, Human Resources Manager Stacy Buckley, Parks and Recreation Director Lance Whitworth, Library Manager Mignon Morse, City Engineer Greg Peters, Public Works Director Joe Crase, Fire Chief Rick Coleman, and Finance Director Teresa Savage.

Invocation and Pledge of Allegiance to U.S. and Texas Flags:

The invocation was offered by Councilman Franks and the pledges were led by Councilman Ronnau.

1. Regular Agenda Items:

14-2244 Administer Oath of Office to Mr. Bill Adams and Mr. Paul Watkins.

Mayor Felix administered the Oath of Office to the Council Members-elect.

14-2240 Consider approval of the minutes of the May 19, 2014, regular meeting.

Councilman Ross moved to approve the minutes of the May 19, 2014, regular meeting, as corrected. The motion was seconded by Councilman Bickerstaff and carried unanimously.

14-2241 Consider approval of the minutes of the May 19, 2014, special meeting:

Councilman Bickerstaff moved to approve the minutes of the May 19, 2014, special meeting, as presented. The motion was seconded by Councilman Ross and carried unanimously.

14-2242 Recognition and Recess: Reception for Outgoing Council Member Todd Ronnau

The Mayor and Council members thanked Councilman Ronnau for his many years of service to the City.

The City Council recessed briefly from 8:07 p.m. until 8:25 p.m.

14-2243 Consider the election of a Mayor Pro Tem:

Mayor Pro Tem Adams moved to elect Jeff Bickerstaff as Mayor Pro Tem. The motion was seconded by Councilman Watkins and carried unanimously.

2. Consent Agenda:

Councilman King moved to approve the Consent Agenda consisting of: 14-2245 Consider acceptance of the resignation of Paul Watkins from the Planning and Zoning Commission; 14-2248 Consider receiving the Monthly Revenue and Expenditure Report for the period ending April 30, 2014; and 14-2239 Resolution No. 3593 of the City Council of the City of Sachse, Texas, awarding the bid for the Boone Street Paving Improvements from 5th Street to 7th Street as a Community Development Block Grant project to Reynolds Asphalt & Construction Company, Incorporated in the amount not to exceed ninety-three thousand two hundred eight dollars and no cents (\$93,208.00). The motion was seconded by Councilman Adams and passed unanimously.

3. Mayor and City Council Announcements regarding special events, current activities and local achievements:

14-2249 Staff Briefing: Sachse Economic Development Corporation update.

Councilman Franks stated the Parks Department is hosting several summer camps such as Cooking, Cheer, and Art. A brochure is online. He also stated last Wednesday there was a house fire at the Sachse Rowlett border. The family lost everything. J.D. Pruitt and he are collecting donations. The Sachse Baseball Association collected \$500 and will match some portion. This effort is what makes Sachse a great community to live in.

Mayor Pro Tem Bickerstaff noted the upcoming Library Programs: the Summer Reading Program kickoff is June 7th at 10:00 a.m. at the Library.

Councilman King congratulated the Police Department on their video partnership program. Neighborhoods are safer because of this program. He visited the Sachse Animal Shelter recently and stated that Operation Kindness picked up some animals.

Councilman Franks noted that 2 weeks ago the City hosted a Memorial Day event. There were Boy Scouts and veterans of several wars and public safety officers present. About 60 people attended the event. It was well received.

Mayor Felix thanked Councilman Franks for taking over the Memorial Day event. He reviewed the upcoming events: July 3rd is the Red, White and Blue Blast fireworks show; July 16th at 8:00 a.m. is the Wal-Mart Supercenter Grand Opening; and July 26th from 6:00 p.m. until 11:30 p.m. is the Cars Under the Stars, Chamber event at the Kroger parking lot.

4. Citizen Input:

Ruth Glover 3516 Lee Meadow, loves Sachse. She stated if City wants the growth to continue the City needs to expand services. She feels the Library needs to be expanded, need more meeting rooms, better internet section and more library programs for older people.

5. Regular Agenda Items (Continued):

14-2250 Presentation by and discussion with representatives of the North Texas Municipal Water District (NTMWD) to include items related to, but not limited to, drought conditions, water availability, project status, and future raw water rate implications:

Following the presentation and discussion with representatives of the NTMWD, no formal Council action was taken.

14-2238 Receive early Citizen input for the 2014-2015 Fiscal Year Budget:

No comments were made.

14-2226 Conduct a public hearing and consider an Ordinance of the City of Sachse, Texas, amending the Code of Ordinances by amending Chapter 8 "Subdivision" by amending Section 8-5 through 8-19 to provide definitions including substantial completion; providing provisions related to the duties of the City Engineer; providing for standard size water mains; providing for street right-of-way widths; and providing clarification for work that is to be completed pursuant to the Subdivision Regulations, Standard Specifications and Standard Construction Details of the City; providing a repealing clause; providing a savings clause; providing a severability clause:

Mayor Felix opened the public hearing.

No comments were made.

Councilman Franks moved to close the public hearing. The motion was seconded by Mayor Pro Tem Bickerstaff and carried unanimously.

Following discussion, Mayor Pro Tem Bickerstaff moved to approve Item 14-2226 (Ordinance No. 3594) as presented. The motion was seconded by Councilman King and carried unanimously.

6. Adjournment:

There being no further business, Councilman Adams moved to adjourn. The motion was seconded by Councilman Ross and carried unanimously. The meeting adjourned at 9:40 p.m.

ATTEST:

APPROVED:

CITY SECRETARY

MAYOR



Legislation Details (With Text)

File #:	14-2284	Version:	1	Name:	crack seal machine purchase
Type:	Agenda Item	Status:		Status:	Agenda Ready
File created:	6/12/2014	In control:		In control:	City Council
On agenda:	6/16/2014	Final action:			
Title:	Consider a resolution of the City Council of the City of Sachse, Texas authorizing the procurement of a crack seal machine in an amount not to exceed \$ 50,000 and authorizing the City Manager to purchase the same.				
	Executive Summary Resolution providing for authorization to purchase one crack seal machine.				
Sponsors:					
Indexes:					
Code sections:					
Attachments:	Res.Crack seal machine.pdf Crack Seal Machine Quote.pdf				

Date	Ver.	Action By	Action	Result
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Title

Consider a resolution of the City Council of the City of Sachse, Texas authorizing the procurement of a crack seal machine in an amount not to exceed \$ 50,000 and authorizing the City Manager to purchase the same.

Executive Summary

Resolution providing for authorization to purchase one crack seal machine.

Background

The FY 2013-2014 budget allows for the purchase of a new crack seal machine to replace the existing unit which is old technology and has become unsafe for use by the department. The existing unit may be sold at auction.

Policy Considerations

Purchase of a new crack seal machine will replace a 12 year old unit and will allow the department to perform pavement repairs in a much more efficient manner.

Budgetary Considerations

The FY 2013-2014 budget allows an amount of \$50,000.00 for the purchase of a new unit. A quote of \$49,980.00 was received by HGAC vendor Sealmaster Dallas.

Staff Recommendations

Staff recommends approval of a resolution of the City Council of the City of Sachse, Texas

authorizing the procurement of a crack seal machine in an amount not to exceed \$ 50,000 and authorizing the City Manager to purchase the same as a Consent Agenda Item.

RESOLUTION NO. _____

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SACHSE, TEXAS AUTHORIZING THE PROCUREMENT OF A CRACK SEAL MACHINE IN AN AMOUNT NOT TO EXCEED \$ 50,000 AND AUTHORIZING THE CITY MANAGER TO PURCHASE SAME.

Whereas, the City of Sachse, Texas, pursuant to the authority granted by, Intergovernmental Cooperation Act, Local Government Code, Title 7, Chapters 742, and 791, desires to participate in intergovernmental purchasing; and

Whereas, the said City Council is of the opinion that participation in this program will be highly beneficial to the taxpayers of this City, through the anticipated savings to be realized through the intergovernmental purchase through the Houston-Galveston Area Council of Governments for products and equipment, including city vehicles; and

Whereas, it the responsibility of the City of Sachse to maintain the City streets.

Whereas, funding has been appropriated in the fiscal year 2013-2014 budget for the purchase of a crack seal machine for street maintenance in the amount of \$50,000 to replace the machine that is no longer functional.

NOW THEREFORE BE IT RESOLVED by the City Council of the City of Sachse, Texas:

That the City Council does hereby approve the use of cooperative purchasing through the Houston-Galveston Area Council of Governments vendor Sealmaster Dallas, to purchase a crack seal machine for the Street Department in an amount not to exceed \$50,000 and authorize the City Manager to execute any documents necessary to complete this transaction.

PASSED AND APPROVED, this 16 day of June, 2014.

APPROVED:

MAYOR

ATTEST:

CITY SECRETARY

Quote

SealMaster Dallas
 1801 N Lancaster Hutchins Rd
 Lancaster, TX 75134

Date	Quote #
6/10/2014	5276

Name / Address
City of Sachse City Hall 3815 B. Sachse Rd Sachse, TX 75048

Rep	Project

Item	Description	Qty	Cost	Total
E2760HH D1000	Crack Pro TR 200 DA Heated Hose Machine Discount Free shipping to our Lancaster TX Store where we can provide training to your personnel on proper usage of your new equipment. Se Habla Espanol aqui tambien. Prices subject to change without notice this quote is good for 90 days from date of estimate	1	59,500.00 -16.00%	59,500.00 -9,520.00
			0.00	0.00
Total				\$49,980.00



Legislation Details (With Text)

File #:	14-2273	Version:	1	Name:	Recognition of service to the for City for Mr. Paul Watkins.
Type:	Agenda Item	Status:		Status:	Agenda Ready
File created:	6/5/2014	In control:		In control:	City Council
On agenda:	6/9/2014	Final action:		Final action:	
Title:	Recognition of service to the for City for Mr. Paul Watkins.				

Executive Summary

Paul Watkins has resigned his seat on the Planning & Zoning Commission, as required by the City Charter to accept his seat on the City Council, and this item is to recognize his service to the City.

Sponsors:

Indexes:

Code sections:

Attachments: [Certificate. Paul Watkins.pdf](#)

Date	Ver.	Action By	Action	Result
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Title

Recognition of service to the for City for Mr. Paul Watkins.

Executive Summary

Paul Watkins has resigned his seat on the Planning & Zoning Commission, as required by the City Charter to accept his seat on the City Council, and this item is to recognize his service to the City.

Background

Mr. Watkins has served recently on the Planning & Zoning Commission. He was required to resign his seat, according to the City Charter, to enable him to accept his elected position on the City Council. Staff will have a plaque of appreciation for Mayor Felix to present to him.

Policy Considerations

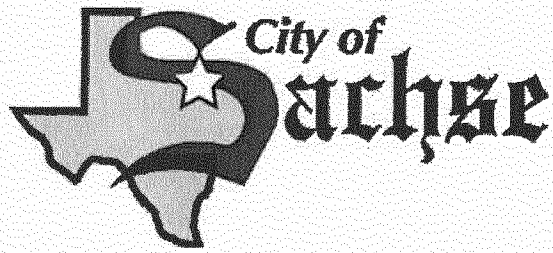
None.

Budgetary Considerations

None.

Staff Recommendations

Recognition of service to the City for Mr. Paul Watkins.



CERTIFICATE OF APPRECIATION

IN THE NAME AND BY THE AUTHORITY
OF THE CITY OF SACHSE, TEXAS

is presented to

PAUL WATKINS

In grateful recognition of Outstanding
Public Service faithfully rendered to the
City of Sachse

**PLANNING AND ZONING COMMISSION
2013 – 2014**

**PRESENTED BY:
MAYOR, CITY COUNCIL AND STAFF
OF THE CITY OF SACHSE, TEXAS
JUNE 16, 2014**



Legislation Details (With Text)

File #:	14-2271	Version:	1	Name:	Consider appointment to the Planning and Zoning Commission.
Type:	Agenda Item	Status:			Agenda Ready
File created:	6/5/2014	In control:			City Council
On agenda:	6/16/2014	Final action:			
Title:	Consider appointment to the Planning and Zoning Commission.				

Executive Summary
Council to make appointment to the Planning and Zoning Commission vacancy.

Sponsors:

Indexes:

Code sections:

Attachments:

Date	Ver.	Action By	Action	Result
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Title

Consider appointment to the Planning and Zoning Commission.

Executive Summary

Council to make appointment to the Planning and Zoning Commission vacancy.

Background

Tonight, we have interviewed the following applicants in workshop session:

David Landis
Brandon Rodriguez
Michael Kellam
Chance Lindsey

Applications are included in the workshop agenda item # 14-2269.

Policy Considerations

None.

Budgetary Considerations

None.

Staff Recommendations

Council make the appointment to the Planning and Zoning Commission as appropriate.



Legislation Details (With Text)

File #:	14-2227	Version:	1	Name:	Subdivision Waiver request
Type:	Agenda Item	Status:		Status:	Agenda Ready
File created:	5/8/2014	In control:		In control:	City Council
On agenda:	6/16/2014	Final action:		Final action:	
Title:	Consider the application of Huffines Communities requesting a waiver from the Code of Ordinances, Chapter 8 Subdivisions, to permit the design and construction of a non-standard roadway in the City of Sachse, Texas.				

Executive Summary

The Applicant seeks to design and construct a street in the City of Sachse, and is requesting a waiver from the Code of Ordinances in three parts, including three non-standard roadway sections. The Applicant has provided a written narrative, including reasons for their request of a waiver. Section 8-8 Waivers of Chapter 8 Subdivisions of the Code of Ordinances of the City of Sachse, Texas, authorizes the City Council of the City of Sachse to grant a waiver of the Subdivision Ordinance under specific circumstances as outlined in Section 8-8.

Sponsors:

Indexes:

Code sections:

Attachments: [1 Property Location PDF](#)
[2 Requested Street Alignment PDF](#)
[3 Street Plan Profile PDF](#)
[4 Applicant Narrative PDF](#)
[5 Engineers Drainage Analysis PDF](#)
[6 Subdivision Ordinance Section 8-16 PDF](#)
[7 Subdivision Ordinance Section 8-19](#)
[8 Standard Construction Details - Section 2A and 2C](#)
[WAIVER REQUEST PRESENTATION PDF](#)

Date	Ver.	Action By	Action	Result
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Title

Consider the application of Huffines Communities requesting a waiver from the Code of Ordinances, Chapter 8 Subdivisions, to permit the design and construction of a non-standard roadway in the City of Sachse, Texas.

Executive Summary

The Applicant seeks to design and construct a street in the City of Sachse, and is requesting a waiver from the Code of Ordinances in three parts, including three non-standard roadway sections. The Applicant has provided a written narrative, including reasons for their request of a waiver. Section 8-8 Waivers of Chapter 8 Subdivisions of the Code of Ordinances of the City of Sachse, Texas, authorizes the City Council of the City of Sachse to grant a waiver of the Subdivision Ordinance under specific circumstances as outlined in Section 8-8.

Background

Project Information (Attachment 1)

The Applicant, Huffines Communities, is the representative for the Subject Property in Sachse, Texas, which includes five tracts of land totaling approximately 7.9 acres near the southeast corner of Merritt Road and the President George Bush Turnpike (PGBT) in Sachse, Texas. The applicant is also the representative for property in the City of Rowlett, located southeast of the Subject Property. There is a property owned by the City of Garland in between the Subject Property and the property in Rowlett. The properties are shown in Attachment 1.

The Applicant seeks to construct a public street in the City of Sachse, from Merritt Road to their property in Rowlett to provide access to their properties in Sachse and their multifamily development in Rowlett. The requested alignment of the road begins at the East right-of-way (R.O.W.) line of Merritt Road south of the PGBT and travels easterly across the Subject Property, across the City of Garland Property, and into the Applicant's property in Rowlett. The requested alignment, shown in Attachment 2 and 3, includes three specific sections that differ from City of Sachse standards, although two sections are very similar.

Staff informed the applicant that their proposed street would not be approved by staff because it differs from the standards as outlined in Sachse's Ordinances. The applicant is seeking a remedy under the waiver provision of the Code of Ordinances whereby the City Council may grant waivers. Staff evaluated the waiver request within the parameters included in Section 8-8 of the Subdivision Ordinances. That evaluation is included below.

Applicant's Requested Street (Attachment 2 and 3)

A. Requested Section A

80-foot Right-of-way **[Greater than minimum requirements]**

4-12-foot wide lanes **[Greater than minimum requirements]**

6-foot median **[Not required]**

Superelevation of the street **[Appropriate for roadway location]**

B. Requested Section B

71-foot Right-of-way **[Greater than minimum requirements]**

3-traffic lanes **[Less than required]**

14-foot wide eastbound lane **[Greater width than minimum requirements]**

Two 11-foot wide westbound lanes **[Meets minimum requirements]**

2-foot median **[Not required]**

6-foot sidewalk along one side **[Less than minimum requirements]**

C. Requested Section C

80-foot Right-of-way **[Greater than minimum requirements]**

4-12-foot wide lanes **[Greater than minimum requirements]**

6-foot median **[Not required]**

5-foot sidewalk along part of the north side **[Less than required]**

12-foot wide sidewalk along the south side **[Greater than minimum requirements]**

requirements]

City of Sachse Standard Requirements (Attachments 6, 7, 8)

Per Section 8-16(9)a (Attachment 6) and Section 8-19 (Attachment 7) of the Subdivision Ordinance, and per Section 2A and 2C of the Standard Construction Details (Attachment 8):

1. City of Sachse standard perimeter street - 4-lane undivided street section with 11-foot wide lanes and no median (minimum 60-foot R.O.W.)
2. The City of Sachse standard sidewalks are located on both sides of the street, may be located along the curb or 1' from the property line, and are minimum of 5-foot wide (along the property line), or a minimum of 6-foot wide (along the curb)

The City of Sachse does have a standard 4-lane divided street section for minor arterials (Attachment 8). However, the standard 4-lane divided street section is not required for this project. The City of Sachse standard perimeter street is required. The City of Sachse standard 4-lane divided street section includes four 12-foot wide lanes and a minimum 17-foot wide median (minimum 80-foot R.O.W.).

Applicant's Narrative (Attachment 4, 5)

The Applicant has prepared a narrative explaining the reasons for the waiver request (Attachment 4), and has provided a drainage analysis from a Licensed Professional Engineer (Attachment 5). The reasons provided by the Applicant include:

A. 4-lane road section (Section A)

- i. Note: Section A and Section C are the same section and differ only by the addition of superelevation for Section A.
- ii. Divided roadway section to provide for fire access to serve portions of the development both in City of Sachse and City of Rowlett.
- iii. Narrow street section conforms to City of Sachse pavement sections, but would be a variance to the standard median section, as developer is constructing 100% of the perimeter roadway at their expense.

B. 3-lane road section (Section B)

- i. A pinch point created by the existing culvert system and NTTA R.O.W., which is a physical constraint.
- iii. Horizontal distance between the culvert system and the R.O.W. does not allow for a standard section and provide fire access.
- iv. Widening of roadway section would force culvert extension, resulting in drainage liability for raises to the FEMA 100-yr water surface upstream, and increases downstream velocities in the creek (Engineer's analysis provided in Attachment 5)

C. 4-lane road section (Section C)

- i. Note: Section A and Section C are the same section and differ only by the addition of superelevation for Section A.
- ii. Divided roadway section to provide for fire access to serve portions of the development both in City of Sachse and City of Rowlett.
- iii. Narrow street section conforms to City of Sachse pavement sections, but would be a variance to the standard median section, as developer is constructing 100%

of the perimeter roadway at their expense.

Policy Considerations

The intent and purpose of the Subdivision Ordinance, as stated in Section 8-3 is:

Sec. 8-3 Intent and Purpose.

A. *Intent.* In the interpretation and application of the provisions of these regulations, it is the intention of the city council that the principles, standards and requirements provided for herein shall be minimum requirements for the platting and developing of subdivisions in the City of Sachse and, where other ordinances of the city are more restrictive in their requirements, such other ordinances shall control.

B. *Purpose.*

- (1) Promote and develop the utilization of land in a manner to assure the best possible community environment in accordance with the adopted plans and regulations of the City of Sachse;
- (2) Guide and assist the developers in the correct procedures to be followed and to inform them of the standards which shall be required;
- (3) Protect the public interest by supervising the location, design, class and type of streets, sidewalks, utilities and essential areas and services required; and
- (4) Protect and promote the public health, safety and general welfare.

The Sachse Code of Ordinances, Chapter 8 Subdivisions, provides City Council the authority to authorize a waiver to the ordinance under the following conditions:

Sec. 8-8. Waivers.

Authorization. The City Council may authorize a waiver from these regulations when in its opinion undue hardship will result from requiring strict compliance. In granting waiver, the City Council shall prescribe only conditions that it deems necessary or desirable to the public interest and making the findings herein below required. The City Council shall take into account the nature of the proposed use of land involved and existing uses of the land in the vicinity, the number of persons who will reside or work in the proposed Subdivision, and the probable effect of such waiver upon traffic conditions and upon the public health, safety, convenience and welfare in the vicinity. No waiver will be granted unless the City Council finds:

- (1) That there are special circumstances or conditions affecting the land involved such that the strict application of the provisions of this ordinance would deprive the applicant of the reasonable use of their land.
- (2) That the waiver is necessary for the preservation and enjoyment of a substantial property right of the applicant, that the granting of the waiver will not be detrimental to the public health, safety or welfare or injurious to other property in the area.
- (3) That the granting of the waiver will not have the effect of preventing the orderly

Subdivision of other lands in the area in accordance with the provisions of this chapter. Such finding of the City Council together with the specific facts on which such findings are based shall be incorporated under the official minutes of the City Council meeting at which such waiver is granted. Waivers may be granted only when in harmony with the general purpose and intent of this chapter so that the public health, safety and welfare may be secured and substantial justice done. Pecuniary hardship to the subdivider, standing alone, shall not be deemed to constitute undue hardship.

Staff evaluated the waiver application under the specific criteria outlined in Section 8-8. In the analysis included below, the Section 8-8 tests are repeated and staff's opinion is included below each test. Since the applicant's waiver request was submitted with three specific parts, there are three sets of opinions listed.

Waiver Request A

- (1) That there are special circumstances or conditions affecting the land involved such that the strict application of the provisions of this ordinance would deprive the applicant of the reasonable use of their land.

Superelevation

The existing street grade of Merritt Road at the intersection with the requested street does create a special condition. The existing Merritt Road pavement is sloped at 3.3% to the south at the intersection with requested Section A. Superelevating the street is appropriate from a technical standpoint.

6-foot median

The applicant is requesting to construct a street section that exceeds the minimum standard street required by the City. Staff finds that the requested Section A exceeds the minimum standards required in the ordinance.

- (2) That the waiver is necessary for the preservation and enjoyment of a substantial property right of the applicant, that the granting of the waiver will not be detrimental to the public health, safety or welfare or injurious to other property in the area.

Superelevation

Staff finds that the superelevation of the street is desirable for the reasonable connection of the requested street to Merritt Road, providing access to the property.

6-foot median

Staff finds that the construction of the requested street Section A will not negatively impact traffic patterns compared to the standard perimeter street.

- (3) That the granting of the waiver will not have the effect of preventing the orderly Subdivision of other lands in the area in accordance with the provisions of this chapter. Such finding of the City Council together with the specific facts on which such findings are based shall be incorporated under the official minutes of the City Council meeting at which such waiver is granted. Waivers may be granted only when in harmony with

the general purpose and intent of this chapter so that the public health, safety and welfare may be secured and substantial justice done. Pecuniary hardship to the subdivider, standing alone, shall not be deemed to constitute undue hardship.

Staff finds that granting of the waiver would not have the effect of preventing the orderly subdivision of other lands in the area.

Waiver Request B

- (1) That there are special circumstances or conditions affecting the land involved such that the strict application of the provisions of this ordinance would deprive the applicant of the reasonable use of their land.

Street Section

Staff finds that the location of the subject property, adjacent properties, NTTA right-of-way, and geographical features do create a special condition in Section B. The NTTA President George Bush Turnpike (PGBT), a limited access tollroad, has no available connectivity to the adjacent property in Sachse. Therefore, the requested street in Section B is the only method of access to a public right-of-way for the eastern section of the subject property. Fire coverage requires two points of access. A median-divided street is an acceptable alternative when only a single access point is available to provide access to a property.

Sidewalk

Staff finds that the adjacency of the NTTA PGBT, a limited access tollroad, is a special condition. The PGBT has no pedestrian access or pedestrian facilities. A sidewalk along the north side of Section B would not serve as pedestrian access to the adjacent NTTA right-of-way along Section B. A crosswalk is provided on each end of Section B, to allow pedestrian movement to the sidewalk along the south side of the requested street Section B. There is a continuous sidewalk along the south side of street Sections A, B, and C.

- (2) That the waiver is necessary for the preservation and enjoyment of a substantial property right of the applicant, that the granting of the waiver will not be detrimental to the public health, safety or welfare or injurious to other property in the area.

Street Section

Staff finds that access to a public right-of-way is a substantial property right of the Applicant.

Sidewalk

The property adjacent to Section B is NTTA right-of-way, which has no pedestrian access, or pedestrian facilities. A crosswalk is provided in Section B and Section C, to allow pedestrian movement to the sidewalk along the south side of the requested street Section B. There is a continuous sidewalk along the south side of street Sections A, B, and C.

- (3) That the granting of the waiver will not have the effect of preventing the orderly Subdivision of other lands in the area in accordance with the provisions of this chapter.

Such finding of the City Council together with the specific facts on which such findings are based shall be incorporated under the official minutes of the City Council meeting at which such waiver is granted. Waivers may be granted only when in harmony with the general purpose and intent of this chapter so that the public health, safety and welfare may be secured and substantial justice done. Pecuniary hardship to the subdivider, standing alone, shall not be deemed to constitute undue hardship.

Staff finds that granting of the waiver would not have the effect of preventing the orderly Subdivision of other lands in the area.

Waiver Request C

- (1) That there are special circumstances or conditions affecting the land involved such that the strict application of the provisions of this ordinance would deprive the applicant of the reasonable use of their land.

6-foot median

The applicant is requesting to construct a street pavement section that exceeds the minimum standard street required by the City. Staff finds that the requested street pavement in Section C exceeds the minimum standards required in the ordinance.

Sidewalk

A crosswalk is provided in Section C, to allow pedestrian movement to the sidewalk along the south side of the requested street Section B. There is a continuous sidewalk along the south side of street Sections A, B, and C. Staff finds that the requested 5-foot sidewalk along the north side of the requested street Section C meets the minimum standards required in the ordinance. Staff finds that the requested 12-foot sidewalk along the south side of the requested street Section C exceeds the minimum standards required in the ordinance.

- (2) That the waiver is necessary for the preservation and enjoyment of a substantial property right of the applicant, that the granting of the waiver will not be detrimental to the public health, safety or welfare or injurious to other property in the area.

6-foot median

Staff finds the requested street pavement section to exceed the minimum standard for a perimeter street. Staff finds that the construction of the requested street section, which is above and beyond the minimum City standard, will not cause detriment to the public health, safety, or welfare.

Sidewalk

Staff finds that the requested 5-foot sidewalk along the north side of the requested street Section C meets the minimum standards required in the ordinance. Staff finds that the 12-foot sidewalk along the south side of the requested street Section C exceeds the minimum requirements of the Subdivision Ordinance.

- (3) That the granting of the waiver will not have the effect of preventing the orderly Subdivision of other lands in the area in accordance with the provisions of this chapter. Such finding of the City Council together with the specific facts on which such findings

are based shall be incorporated under the official minutes of the City Council meeting at which such waiver is granted. Waivers may be granted only when in harmony with the general purpose and intent of this chapter so that the public health, safety and welfare may be secured and substantial justice done. Pecuniary hardship to the subdivider, standing alone, shall not be deemed to constitute undue hardship.

Staff finds that granting of the waiver would not have the effect of preventing the orderly Subdivision of other lands in the area.

Note: The number and location of driveways for Section A, Section B, and Section C are not part of this waiver request. The number and location of driveways will be part of the construction plan review and approval process.

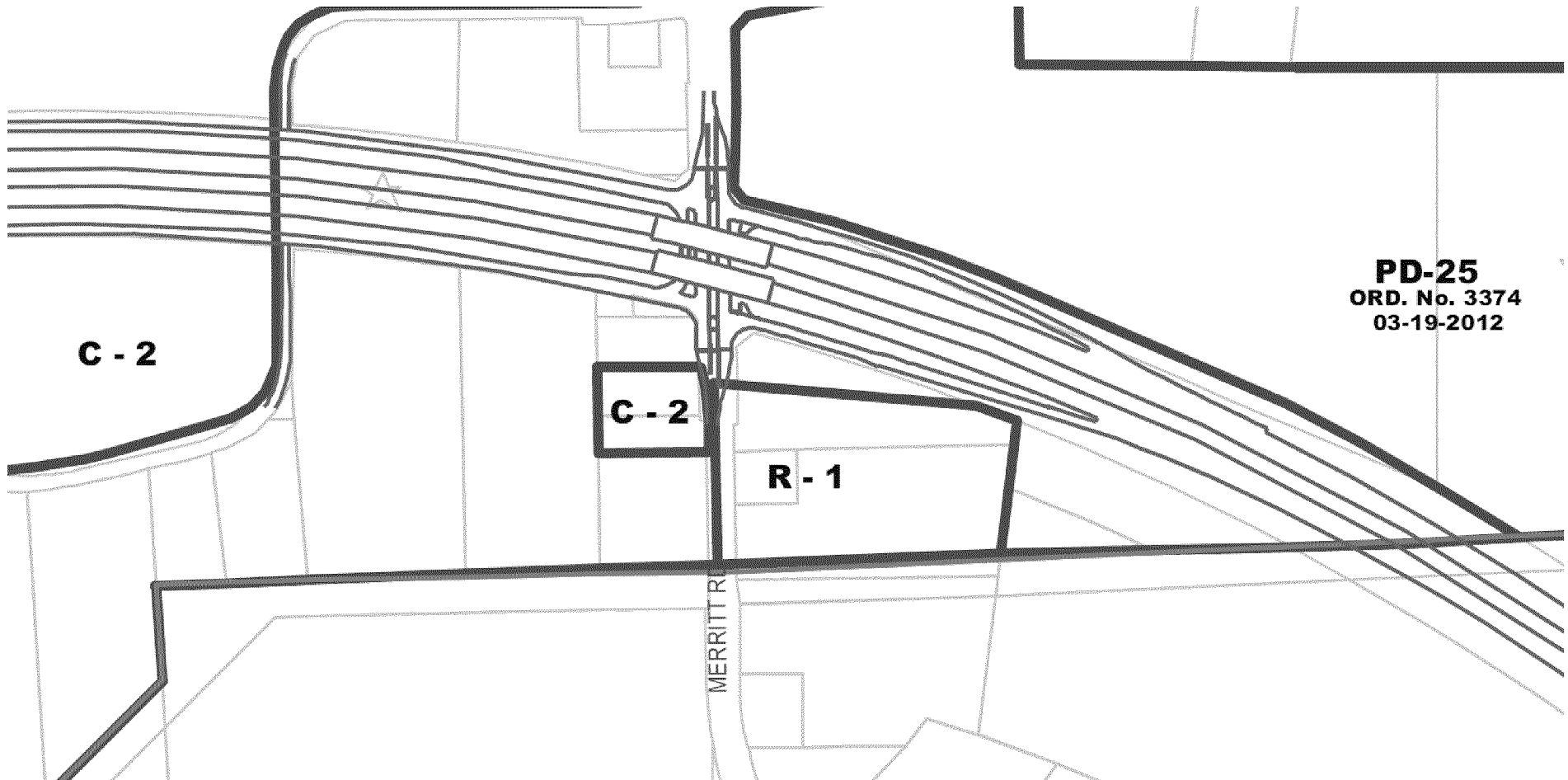
Budgetary Considerations

None

Staff Recommendations

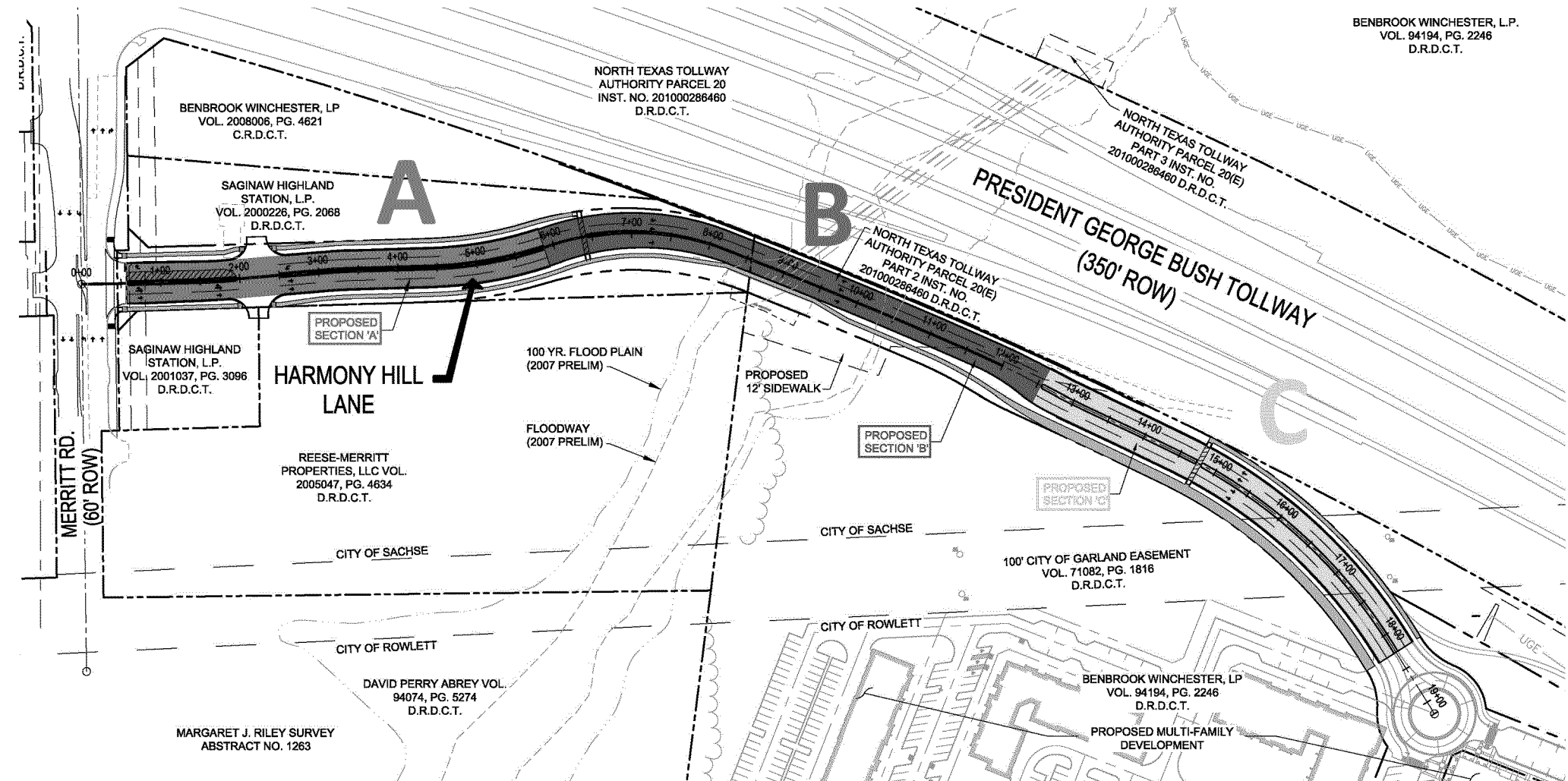
Staff finds that Section A and Section C exceed the minimum standards for a perimeter street as outlined in the Sachse Code of Ordinances and Standard Construction Details. Staff's evaluation found that the special circumstances created by the NTTA President George Bush Turnpike, surrounding property configurations, and geographical features in and around requested Section B do create a special condition that affects the subdivision of land. Staff recommends approval of the waiver request for requested street Section A, Section B, and Section C.

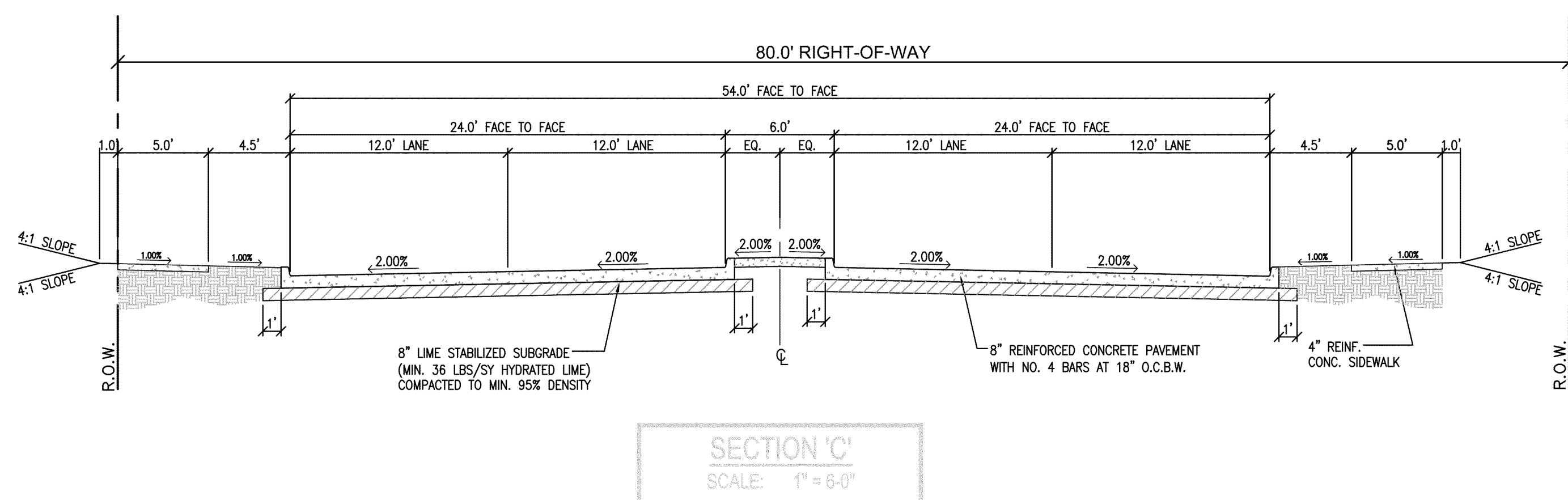
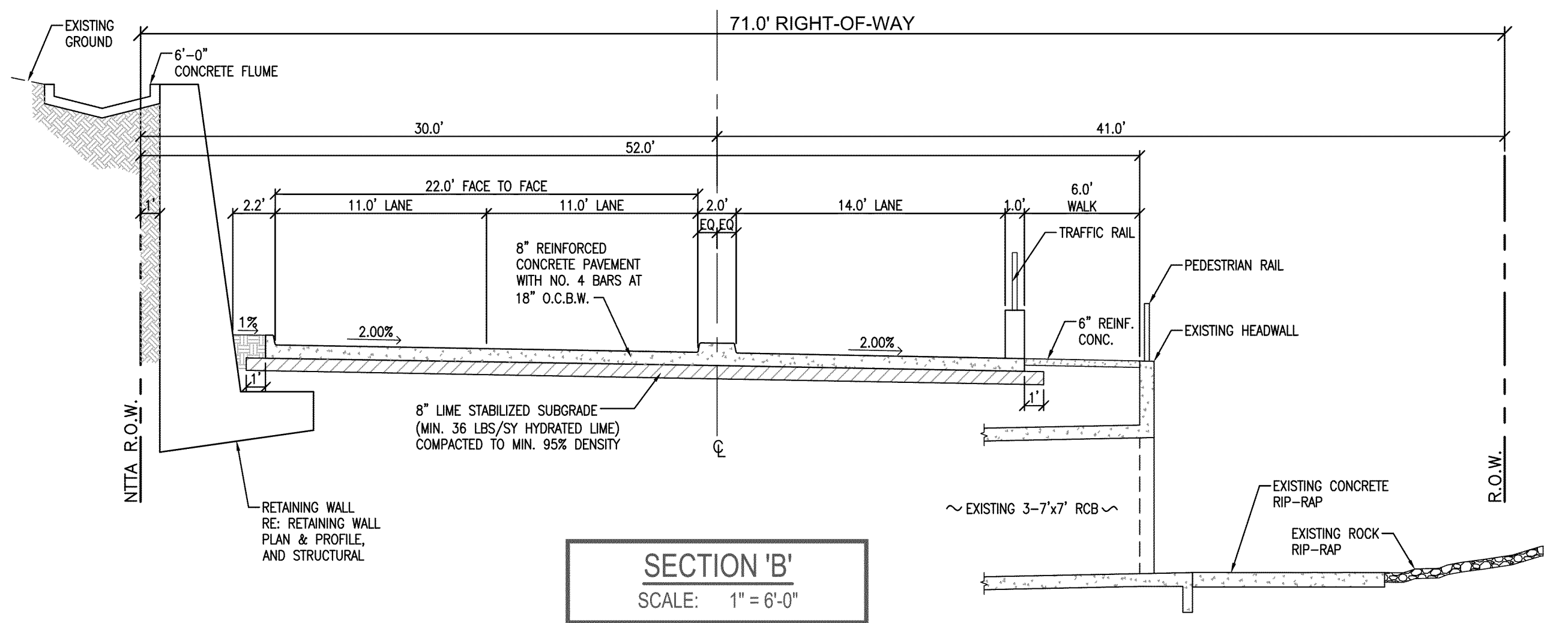
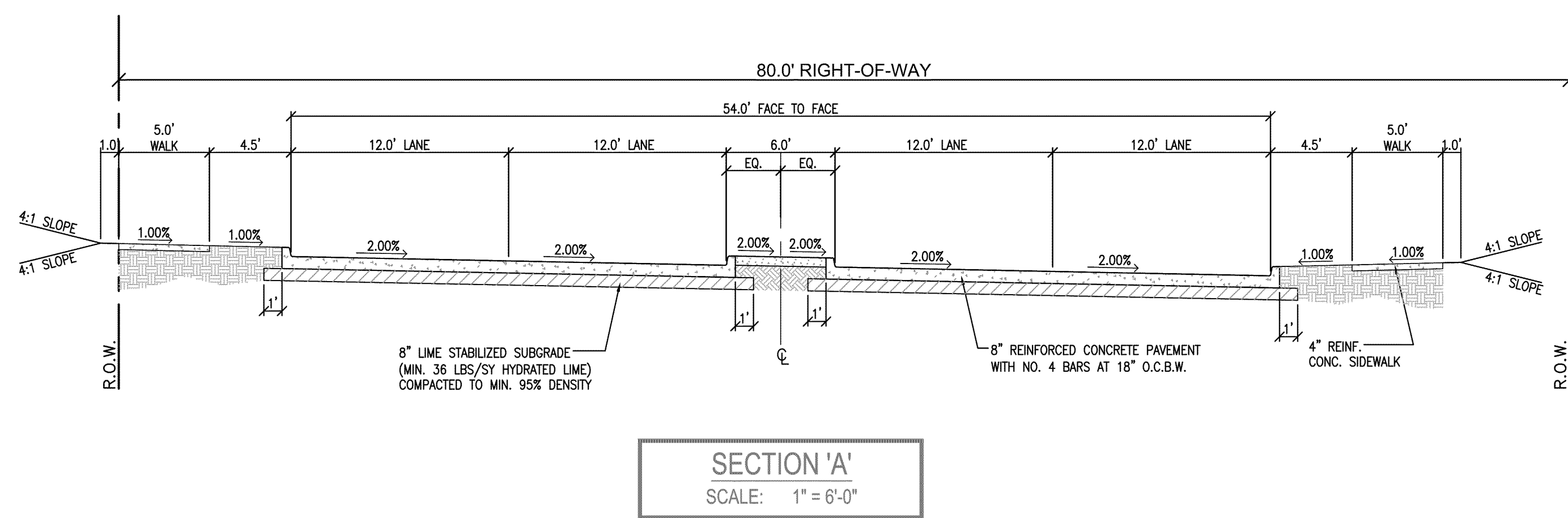
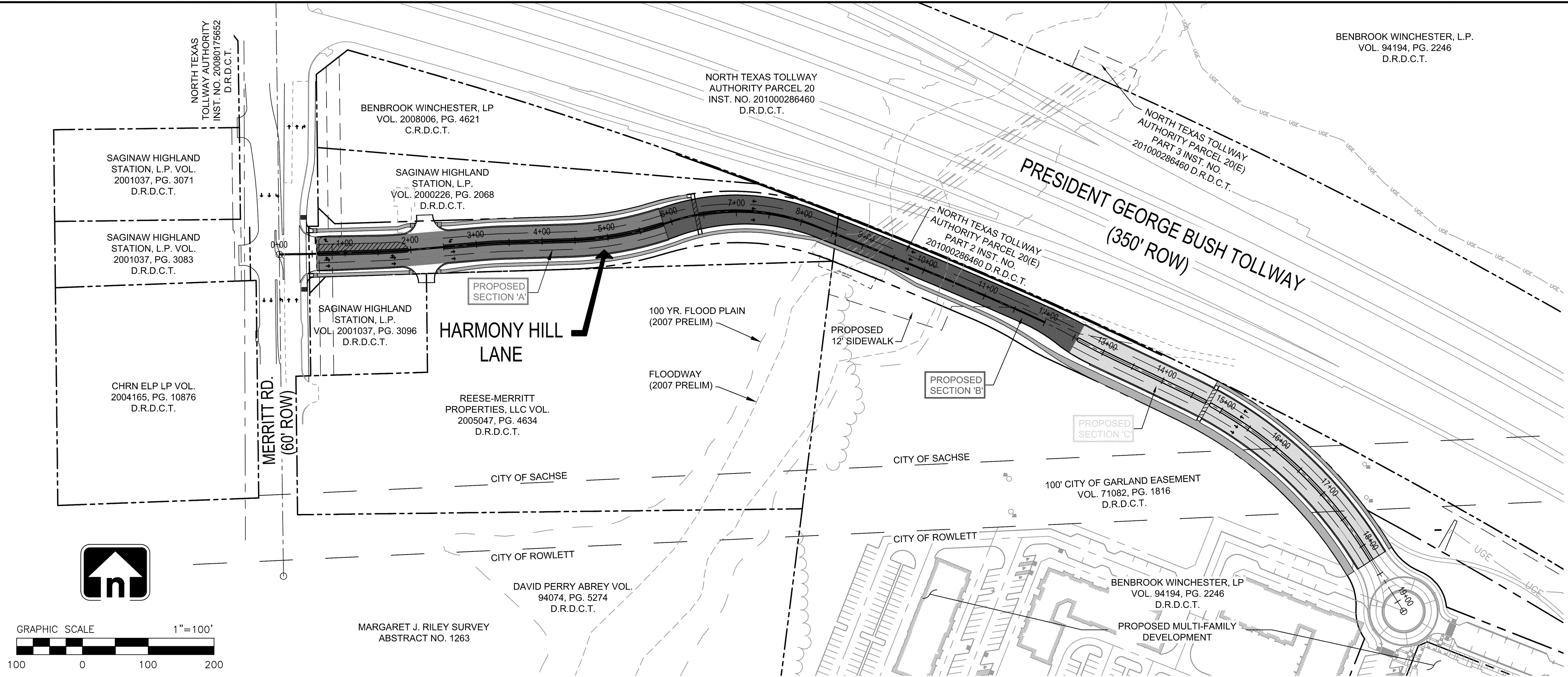
Attachment 1 – Property Location



Requested Street Alignment

BENBROOK WINCHESTER, L.P.
VOL. 94194, PG. 2246
D.R.D.C.T.

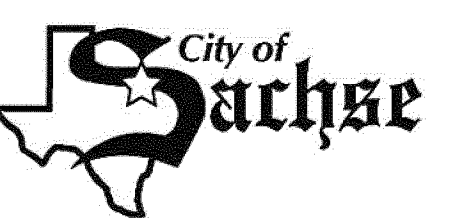




ATTACHMENT 'A' HARMONY HILL LANE TYPICAL SECTIONS JUNE 2014



Graham Associates, Inc.
CONSULTING ENGINEERS & PLANNERS
600 SIX FLAGS DRIVE, SUITE 500
ARLINGTON, TEXAS 76011 (817) 640-8535
TBP# FIRM: F-1191/TBPLS FIRM: 101538-00





June 3, 2014

City of Sachse
Attn: Greg Peters
Community Development
3815 Sachse Road
Sachse, Texas 75048

RE: HARMONY HILL LANE – Roadway Section Waiver Request

Mr. Peters:

Huffines Communities, would like to formally request a waiver from City of Sachse Standards for portions of the proposed roadway, Harmony Hill Lane. This roadway will begin on the east side of Merritt Road, south of President George Bush Turnpike (NTTA) and extend west to serve additional property located within the City of Sachse and additional property in the City of Rowlett – see Attachment A.

The proposed variance would include and allow the following:

Three (3) non-standard roadway sections

- Section A: 80' ROW, divided 4-lane, 2-24' pavement, 6' median, superelevated
- Section B: 71' ROW, divided 3-lane, 22' & 14' pavement, 2' median, superelevated
- Section C: 80' ROW, divided 4-lane, 2-24' pavement, 6' median

We are requesting a waiver because constructing Harmony Hill Lane to City standards would result in an exaction inconsistent with the limitations of Texas Local Government Code Section 212.904. The waiver request results in the following deviations from City Standards:

Section A and Section C Roadways

- Note: Section A and Section C are the same section and differ only by the addition of superelevation for Section A.
- Divided roadway section to provide for fire access to serve portions of the development both in City of Sachse and City of Rowlett.
- Narrow street section conforms to City of Sachse pavement sections, but would be a variance to the standard median section, as developer is constructing 100% of the perimeter roadway at their expense.

Section B Roadway

- A pinch-point is created by existing culvert system and NTTA R.O.W., which is a physical constraint
- Horizontal distance between culvert system and R.O.W. does not allow for standard section and provide fire access.
- Widening of roadway section would force culvert extension, resulting in drainage liability for raises to the FEMA 100-yr water surface upstream and increases downstream velocities in creek

If you have any questions, comments or concerns, please contact us at your convenience. We appreciate the opportunity to present this waiver request to City Council during their June 16, 2014 meeting and look forward to working with you and the City of Sachse on this project.

Sincerely,

Elvio P. Bruni
//attachments



Graham Associates, Inc.
CONSULTING ENGINEERS & PLANNERS

May 8, 2014

Greg Peters, P.E.
City Engineer - City of Sachse
3815 Sachse Road
Sachse, Texas 75048

Re, NTTA culvert at Stream 2E8

Dear Mr. Peters,

We have analyzed the hydraulic conditions of the existing, 454 feet long culvert with the currently proposed entry road (Harmony Hill Lane) built over the upstream end of the existing 3 barrel 7' x 7' box culvert. This condition does not require lengthening of the existing pipe and retains the existing headwall. Under this condition, using our calculated ultimate 100-year discharge, the existing culvert has a 100-year upstream water surface elevation of 483.09 and an E.G. of 483.56.

Using the same 100-year discharge and a proposed culvert lengthen 60 ft. to accommodate a typical City road section, we calculate an upstream water surface elevation of 483.62 and an E.G. of 484.09. This alternate culvert would be 514 feet long, was modeled with the same style of entrance, and at the same slope as the existing culvert pipe. Our analysis shows the alternative design would raise the flood level 0.53 feet and this increase would extend off the project site. Please note; lengthening the culvert without any bends in the pipe would require obtaining an easement from the neighboring property owner.

If the proposed lengthened pipe, including the proposed upstream headwall, is to be constructed entirely on the project site, then a mitered pipe bend would have to be constructed. This bend will have an associated extra hydraulic loss. Using the same discharge as above, a proposed culvert lengthen 60 ft., with a dog-leg to keep the proposed headwall on-site, has an upstream water surface elevation of 483.64 and an E.G. of 484.12; both of which are slightly higher than the straight pipe alternative.

In all 3 cases, the 3 - 7 x 7 RCBC is flowing full and the 100-year velocity in the pipe is 9.39 fps. Also, the hydraulic analyses were made using HEC-2's special culvert routine, with a pipe roughness coefficient of 0.013 and an ultimate condition 100-year discharge of 1,380 cfs.

Constructing the culvert extension from different size pipe barrels, say 3 - 8 x 7, would be extremely difficult since this is a 3 barrel culvert. Plus there would be an added hydraulic loss for the transition. In my experience, when I model an existing culvert with different cross sections, I always model the smaller diameter or dimension. To my knowledge, neither HEC-2 nor HEC-RAS can model a culvert with different pipe cross sections.

Please do not hesitate to call me if you have any questions or want to see the HEC-2 printouts.

Sincerely,

Neal Chisholm, P.E. & C.F.M.
Graham Associates, Inc. TBPE F-1191



Summit Office Park
1300 Summit Ave., Suite 419
Ft. Worth, Texas 76102-4418
(817) 332-5756
Fax (817) 336-6909

Centerpoint Three
600 Six Flags Drive, Suite 500
Arlington, Texas 76011-6356
(817) 649-1914 • Metro (817) 640-8535
FAX (817) 633-5240

Chase Bank
8200 Broadway Blvd, Suite 268
Garland, Texas 75043-1571
(972) 840-6671
FAX (972)-840-6671

- (2) The City of Sachse may withhold the issuing of a street number or building permit for the erection of any building in the City of Sachse on a newly subdivided parcel of land until all the requirements of these Subdivision regulations have been complied with, including installation of and acceptance by the City of all water works, sewage and paving improvements for the area designated.

I. *As-built plans.*

- (1) The developer or his engineer shall present the city with one reproducible (sepia) and three blue line or black line complete "AS BUILT" sets of plans for all paving, drainage structures, water mains and sewer mains within 60 days after completion of each contract and before final acceptance of the new developments.

Sec. 8-16. General requirements and design standards.

A. *Streets.*

- (1) The arrangement, character, extent, width, grade, and location of all streets shall conform to the City of Sachse master thoroughfare plan when available and shall be considered in their relation to existing and planned streets, to topographical conditions, to public safety and in their appropriate relation to the proposed uses of the land to be served by such streets.
- (2) When such street is not on the master thoroughfare plan, when available, the arrangement of streets in a subdivision shall either:
 - (a) Provide for the continuation or appropriate projection of existing streets in surrounding areas; or
 - (b) Conform to a plan for the neighborhood approved or adopted by the council to meet a particular situation where topographical or other conditions make continuance or conformity to existing streets impracticable.
- (3) Minor streets shall be so laid out that their use by through traffic will be discouraged.
- (4) Where a subdivision abuts or contains an existing or proposed arterial street, the council may require marginal access streets, reverse frontage, deep lots with rear service alleys, or such treatment as may be necessary for adequate protection to residential properties and to afford separation of through and local traffic.
- (5) Reserve strips controlling access to streets shall be prohibited except where their control is definitely placed in the city under conditions approved by the council.
- (6) Street center line offsets of less than 125 feet shall be avoided.

- (7) Arterial street intersections shall be at least 90° angles. Other street intersections shall be laid out so as to intersect as nearly as possible at right angles, and no street shall intersect at less than 75°.
- (8) Sight distance triangles will be required where driveways intersect streets to allow sufficient drive sight distance for proper decision making on entering or crossing the roadway. No landscaping, grading, signs or screening shall be permitted in the sight distance triangle from 2 ½ feet to 8 feet in height, measured from the top of the adjacent curb. Minimum dimensions of sight distance triangles shall be in accordance with the tables and figures below.

TABLE 1
SIGHT DISTANCES
(SEE FIGURE 1)

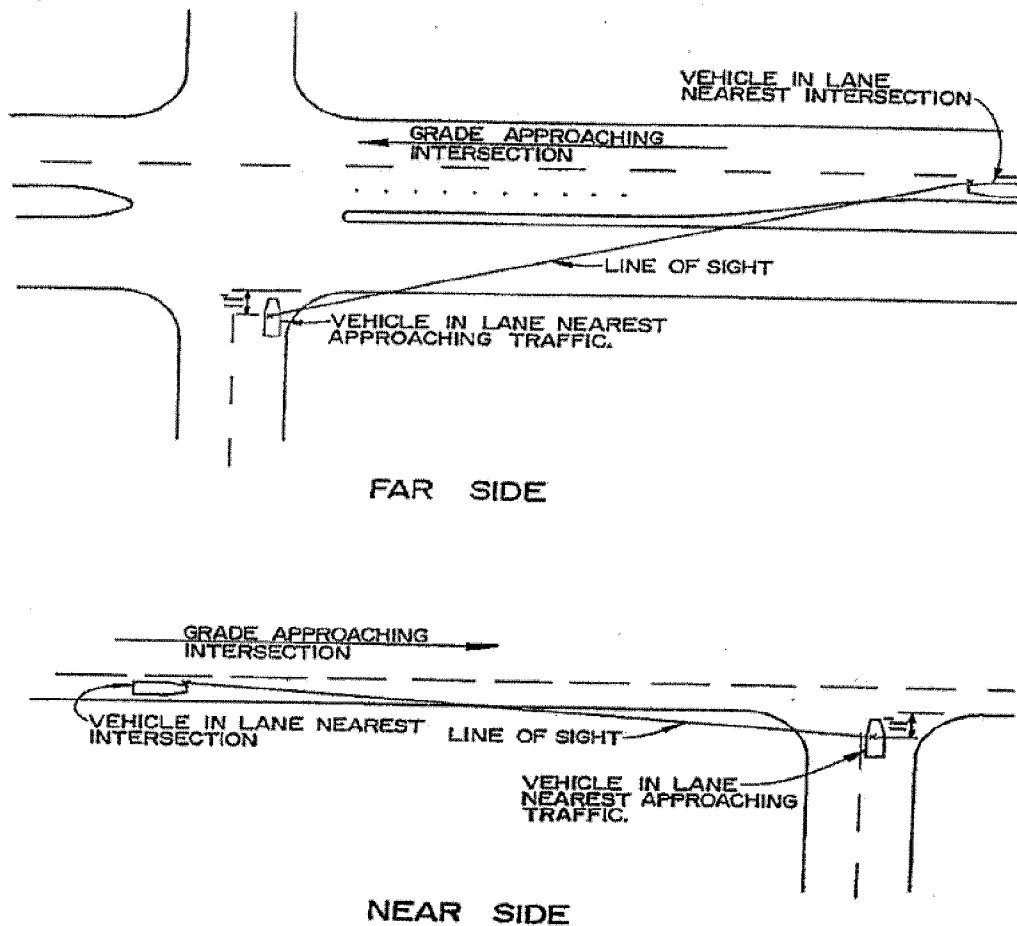
TYPE OF STREET	DESIGN SPEED	STOPPING SIGHT DISTANCE FEET		PAVEMENT WIDTH	INTERSECTION SIGHT DISTANCE (FEET)			
					NEAR SIDE		FAR SIDE	
		MINIMUM	DESIRABLE		MINIMUM	DESIRABLE	MINIMUM	DESIRABLE
RESIDENTIAL	25	150	200	26'	150	220	150	260
	30	200	200	26'	200	260	200	300
				30'	200	270	210	305
COLLECTOR	35	240	250	36'	200	275	220	310
MINOR ARTERIAL	35	240	250	44'	240	330	275	375
				2-22'	240	330	305	410
				44'	275	350	305	425
	40	275	300	2-33'	280	400	400	520
PRINCIPAL ARTERIAL	45	315	375	2-33'	320	450	450	580

FOR DISTANCE ADJUSTMENTS DUE TO GRADE OR STREET USE TABLE 2

TABLE 2
SIGHT DISTANCE ADJUSTMENTS DUE TO GRADE

DESIGN SPEED	UPGRADES (DECREASE)			DOWNGRADES (INCREASE)		
	3	6	10	3	6	10
25	5	10	15	5	15	25
30	10	15	20	10	20	30
35	15	20		15	25	
40	20	25		20	35	
45	25	30		25	50	

FIGURE 1



Sight distance at intersections

- (9) Street right-of-way widths shall be as shown on the master thoroughfare plan, when available, and where not shown therein shall be not less than as follows:
- (a) Major thoroughfares: Minimum 80 feet; maximum 140 feet, depending upon the location and the city street plan with which the major thoroughfare is to be connected.
 - (b) Secondary thoroughfare—60 feet (min.).
 - (c) Minor residential street—50 feet.
 - (d) Access or service road—40 feet.
 - (e) Minor street in apartment, commercial or industrial areas—60 feet
- (10) Minor residential streets shall be paved 31 feet wide from back of curb to back of curb. Minor apartment streets and secondary collector streets shall be paved 37 feet wide from back of curb to back of curb.

- (11) Half streets shall be prohibited, except when essential to the reasonable development of the subdivision in conforming with the other requirements of these regulations, and where the council finds it will be practical to require the dedication of the other one-half when the adjoining property is subdivided. Whenever a partial street exists along a common property line, the other portion of the street shall be dedicated. Where part of a street is being dedicated along a common property line and the ultimate planned width is 60 feet, the first dedication will be 35 feet; where the ultimate planned width is 70 feet, the first dedication will be 40 feet.
- (12) A cul-de-sac shall not be longer than 600 feet and at the closed end shall have a turn-around provided for, having an outside roadway diameter of at least 80 feet and a street property line diameter of at least 100 feet.
- (13) New streets of like alignment shall bear the names of existing streets and shall be dedicated at equal or greater widths than the existing streets. No street names shall be used which will duplicate or be confused with the names of existing streets. Street names shall be subject to the approval of the council.
- (14) All new streets dedicated within a subdivision shall be constructed in accordance with Standard Specifications of the NCTCOG for Public Works and the Standard Construction Details of the City of Sachse.
- (15) Where traffic conditions require, traffic engineering studies may be required by the council from the developer to provide technical data.
- (16) Within the corporate limits of the City of Sachse, street signs will be furnished and installed by the city at the expense of the subdivider at each intersection and the subdivider shall pay to the City of Sachse the current standard charges per street sign for the cost of materials and installation of each street sign. In subdivisions lying beyond the corporate limits of the said city, street name signs shall be placed by the subdivider at all intersections within or abutting the subdivisions. Such signs shall be of a type approved by the City of Sachse, shall be installed in accordance with the standards of the City of Sachse. The developer shall pay such sum as computed by the city administrative official for street signs as set out herein at the time at which he submits his final plat for approval, and this sum shall be in addition to the filing fee set forth hereinabove.

B. *Utilities.*

- (1) The sanitary sewers, storm sewers, water mains, street improvements, with all appurtenances pertaining to the above and facilities of other agencies as may be required, shall be constructed and installed in each new subdivision in accordance with current official standards of the City of Sachse.

- (2) Water.
 - (a) All subdivisions shall be provided with an approved water system designed and constructed in accordance with the master plan when available and standard specifications of the City of Sachse. In the corporate limits of the City of Sachse all subdivisions shall be connected with the City of Sachse water supply distribution system.
- (3) Sewer improvements.
 - (a) All subdivisions shall be provided with an approved sewage disposal system and where the subdivision is inside the city limits of the City of Sachse, shall be connected to the City of Sachse sanitary sewer system.
 - (b) The developer shall furnish and install the complete sewage system, including the mains, manholes, cleanouts, Y-branches and service laterals for all lots, lift stations and appurtenances. The sewage system shall be designed and constructed in accordance with the master plan when available and standard specifications of the City of Sachse.
 - (c) In locations where sanitary sewers are not available and where there is no immediate prospect for installation of sanitary sewers, then septic tanks of approved type may be installed in conformity with the rules, regulations and ordinances of the City of Sachse pertaining to public health, provided however that in no case shall septic tanks be installed without the express approval and inspection of the City of Sachse.
- (4) All public or privately owned underground utilities shall stub out all services from mains in all directions to the property lines in streets; and in alleys the services shall be stubbed out 18 inches inside the rear property line of platted lots and to the property line of unplatted property prior to commencing paving operations.
- (5) Electric utilities to be underground.
 - (a) No subdivision plat or site plan filed with or submitted to the city shall be approved unless such plan or plat requires all electric utility lateral and service lines to be constructed underground. In special or unique circumstances or to avoid undue hardship, the city council may authorize variances and exceptions from this requirement and permit the construction and maintenance of overhead electric utility lateral or service lines and may approve any plat with such approved variances or exceptions. It is the intent of this section that no overhead electric utility lateral or service lines be constructed without a variance or exception having been obtained for the subdivision plat or site plan.
 - (b) That all wires and lines providing other utility services, and electric lines serving street lights, shall be placed underground in all subdivisions and on all sites where the final subdivision plat or site plan approved by the city requires electric utility lateral and service lines to be placed

underground. Utility support equipment, such as transformers, amplifiers, switching devices, etc., necessary for or used in connection with underground installations shall be deemed to be placed underground if actually constructed underground or if pad-mounted on the surface.

- (c) Anything in this ordinance to the contrary notwithstanding, temporary construction service may be provided by overhead electric lines and facilities without obtaining a variance or exception.
- (d) That nothing herein set forth shall prohibit or restrict any utility company from recovering the difference between the cost of overhead facilities and underground facilities. Each utility whose facilities are subject to the provisions of this ordinance shall develop policies and cost reimbursement procedures with respect to the installation and extension of underground service.
- (e) As used in this ordinance the terms "Utility service[s]", "feeder lines", "lateral lines", and "service lines" shall have the following meanings:
 - (i) "Utility services" shall mean the facilities of any person, firm or corporation providing electrical, telephone, TV cable or any other such item or service for public use which services are not normally or already required to be placed underground and are within the present or future city limits of the City of Sachse, Texas.
 - (ii) "Feeder lines" shall mean those high voltage supply electric lines that emanate from substations used to distribute power throughout an area.
 - (iii) "Lateral lines" shall mean those electric lines used to distribute power from a feeder line to an end user. These electric lines are normally connected to a feeder line through a sectionalizing device such as a fuse.
 - (iv) "Service lines" shall mean those electric lines used to connect between the utilities' supply system and the end user's service entrance.

C. *Drainage.*

- (1) An adequate storm sewer system consisting of inlets, pipes and other underground drainage structures with approved outlets shall be constructed where runoff of storm water and the prevention of erosion cannot be accomplished satisfactorily by surface drainage facilities. Areas subject to flood conditions as established by the city will not be considered for development until adequate drainage has been provided.
- (2) No individual, partnership, firm or corporation shall deepen, widen, fill, re-route or change the course or location of any existing ditch, channel, stream or drainage way, without first obtaining written permission of the City of Sachse or other agency having jurisdiction.

D. *Alleys.*

- (1) Alleys shall be provided in commercial and industrial districts, except that the commission may waive this requirement where other definite and assured provision is made for service access, such as off-street loading, unloading and parking consistent with and adequate for the use proposed. Service alleys in commercial and industrial districts shall be a minimum 25 feet in right-of-way width.
- (2) In residential districts, alleys may be provided parallel, or approximately parallel, to the frontage of the street. Alleys in residential districts, where provided, shall be a minimum of 15 feet in right-of-way width, and paved ten feet in width.
- (3) Alleys may be provided in all new developments and replatting of old additions, as desired by the developer because of drainage or topographical features or existing conditions which may require the use of an alley in a particular location.
- (4) Alleys, where provided, shall be paved in accordance with the Standard Construction Details of the City of Sachse.
- (5) Where the deflection of alley alignment exceeds 30°, a cutback of a minimum 15 feet or of such greater distance to provide safe vehicular movement shall be established on the inside property line and the paving of the alley shall be cut back in the same manner as shown in the city Standard Construction Details.
- (6) Dead-end alleys shall be avoided where possible, but, if unavoidable, shall be provided with adequate turn-around facilities at the dead end as determined by the council.
- (7) Access to residential property may be permitted from the alley. Access from the alley shall not exclude another means of access from the front or side. No alley lot access to residential property shall be allowed from any arterial street, unless expressly waived by the council upon approval by the city engineer.

E. *Easements.*

- (1) Easements across lots or centered on rear or side lot lines shall be provided for utilities where necessary and shall be of such widths as may be reasonably necessary for the utility or utilities using same, with minimum width of 15 feet. Any easements so established shall be maintained by the property owner.
- (2) Where a subdivision is traversed by a water course, drainage way, channel or street, there shall be provided a storm easement or drainage right-of-way conforming substantially with such course and of such additional width as may be designated by the city administrative official that will be reasonably adequate for the purpose. Parallel streets or parkways may be required in connection with this.

The drainage shall be designed to eliminate erosion of adjoining property and to facilitate routine maintenance.

- (3) All easements may be included in the computation of lot sizes, with the exception of drainage easements, which will be in addition to the specified lot size.

F. *Blocks.*

- (1) The length, width and shapes of blocks shall be determined with due regard to:
 - (a) Provision of adequate building sites suitable to the special needs of the type of use contemplated.
 - (b) Zoning requirements as to lot sizes and dimensions.
 - (c) Needs for convenient access, circulation, control and safety of street traffic.
- (2) In general intersecting streets, determining the blocks, lengths and widths shall be provided at such intervals as to serve cross traffic adequately, and to meet exiting streets or customary subdivision practices. Where no existing subdivision controls, the block lengths should not exceed 1,000 feet, with a maximum of 1,200 feet in length. Where no existing subdivision controls, the blocks shall not be less than 500 feet in length; however, in cases where physical barriers or property ownership creates conditions where it is appropriate that these standards be varied, the length may be increased or decreased to meet the existing conditions having due regard for connecting streets, circulation of traffic and public safety.
- (3) Where blocks in the vicinity of a school, park or shopping center are platted 1,000 feet or longer the council may require a walkway near the middle of the block or at a street that terminates between the streets at the ends of the block. The walkway shall not be less than four feet or more than eight feet in width, shall have a four foot concrete walk through the block from sidewalk to sidewalk, or the rear property line.
- (4) Where no existing subdivision controls, the block depth shall be platted to give lots with a depth to width ratio of generally not more than two and one-half to one and in no case more than four to one, and the platting shall be such that the block depth generally shall not exceed 350 feet nor be less than 215 feet. When possible, the block depth and length shall be such to allow two tiers of lots back to back to an alley.
- (5) Pedestrian walks not less than four feet wide shall be provided around the perimeter of all blocks. If the pedestrian walks are part of the current Master Hike and Bike Trail Plan, a walkway not less than eight feet wide shall be provided.

G. *Lots.*

- (1) Lots shall conform to the minimum requirements of the established zoning district.
- (2) Each lot shall abut on a public street.
- (3) Where corner lots are key lots, that is where lots face the frontage street and also other lots face the side street, the corner lot shall have a front building line on both streets, unless said key lot is separated from other lots by a dedicated street or alley.
- (4) Key lots or irregular shaped lots shall have sufficient width at the building line to meet frontage requirements of the appropriate zoning district. Also, the rear width shall be sufficient to provide access for all utilities including garbage collection, but not less than ten feet.
- (5) No lot shall be platted less than 100 feet in depth except in cases where an irregular shaped tract is platted into lots and remnant piece of property is of sufficient area to plat one or more lots, the council may waive the depth requirement to prevent a hardship on the developer.
- (6) Side lot lines shall be substantially at right angles or radial to street lines.
- (7) Double frontage and reverse frontage lots should be avoided except where essential to provide separation of residential development from traffic arteries or to overcome specific disadvantage of topography and orientation. Where lots have double frontage, a front building line shall be established for each street.
- (8) It shall be lawful to increase the size of lots from that originally platted, provided, however, that there is no remaining portion of a lot, or lots, smaller than the original lot and provided further that final plat is submitted in accordance with the requirements of a final plat as contained hereinabove; provided that chapter 212 of Local Government Code is complied with.
- (9) In areas where city sewer is not immediately available, a lot shall be platted of such area as to meet the minimum requirements of Dallas and/or Collin Counties and the guide lines of the Texas state department of health pertaining to septic tank construction and operation.
- (10) No lot shall be replatted to reduce the size of the lots originally platted by a common dedicator, unless the consent of at least 66-2/3 percent of the property owners in the same subdivision has been obtained. Such required consent may be implied where another lot or lots in the subdivision as recorded have already been subdivided and built upon in the manner prescribed above. No lot will be reduced in width below a 60-foot frontage with an area of 7,200 square feet, except for

property having a local retail, commercial or manufacturing zoning classification and not for residential use.

- (11) When an applicant exhibits a duly executed and recorded deed covering a lot having dimensions of 50 feet by 120 feet or more has been sold by metes and bounds prior to passage of this ordinance and such lot is being assessed for city taxes and conforms to the established lot pattern and zoning classification in the block where located, then a building permit may be issued provided the requested use of such property conforms to the permanent zoning of the property covered by the application.
- (12) Subdivision plats for housing projects, apartment areas, shopping centers and industrial districts will be required. Site plans shall be filed with the City of Sachse for approval by the council.
- (13) All lots developed under this ordinance shall be shaped, graded, and finished by the developer to a finished grade elevation conforming with the lot grading plan and/or standard building code requirements providing for positive drainage and access.

H. *Building Lines.* Building lines along all streets shall be shown on the final plat on all lots intended for business and residential use and shall provide the minimum set-back as required by the Zoning Ordinance.

I. *Monuments.* In all subdivisions and additions corners shall be established at the corner of each block in the subdivision consisting of an iron rod or pipe not less than three-quarter inch in diameter and 24 inches deep flush with the top of the sidewalk. Lot corner monuments shall be placed at all lot corners except corners which are also block corners, consisting of iron rods or pipes of a diameter of not less than one half inch and 18 inches deep set flush with the top of the sidewalk.

Sec. 8-17. Water and sewer main extensions.

A. Definitions.

Pro Rata. A charge made against the consumer or Property Owner to pay for installation of water and sanitary sewer mains as provided in this section.

Standard size water main. A water main six inches or greater in diameter.

Substandard size water main. A water main less than six inches in diameter.

Property Owner. The record title holder of premises served with water from a connection by the City.

Consumer. The actual user of water from a City water connection.

Sec. 8-19. Street design and construction costs.

A. Definitions.

- (1) *Development* shall mean any activity that requires the filing of a final Subdivision plat, or first increment thereof, or one lot plat.
- (2) *Escrow* shall mean money placed in the possession of the city to accomplish the purposes set out in this section including, but not limited to, the following: purchase of right-of-way, design and construction of drainage facilities, curb, gutter and pavement.
- (3) *Street, unimproved* shall mean any street proposed to be constructed as part of a development or an existing street without concrete curb and gutter, but not including state or federal highways.
- (4) *Street, internal* shall mean any street whose entire width is contained within a development.
- (5) *Street, perimeter* shall mean any street which abuts a development or one whose width lies partly within a development and partly without.

B. Street, design construction costs and escrow requirement.

- (1) The Owner shall be responsible for the design and construction of all streets within his development and one-half of same if an unimproved perimeter street.
- (2) The Owner shall be responsible for the construction of the following width perimeter streets to his development:
 - (a) When developing land zoned Residential or "F", the Owner shall be responsible for the construction of one-half of a 37-foot collector street.
 - (b) When developing land zoned "C-1," "C-2," or "PD," the Owner shall be responsible for construction of one-half of a 45-foot concrete street or one-half of the actual width of the proposed street, whichever is less.
 - (c) When developing land zoned "I-1," "I-2," the Owner shall be responsible for the construction of one-half of the street actually proposed for construction, pursuant to the Thoroughfare Plan of the City of Sachse.
- (3) The Owner shall construct all internal and perimeter streets at the time of development unless, from an engineering standpoint, it is not feasible to do so. Upon such determination, the Owner shall be required to place an amount equal to his share of the construction costs plus six percent of such sum for future engineering costs in escrow with the city.

- (4) The Owner shall be responsible for all of the engineering and design costs of all internal streets and also of all perimeter streets which are constructed either entirely by the Owner or through participation.
- (5) The responsibilities of the Owner relative to perimeter streets, shall not exceed a linear footage requirement equal to the square root of the area of the property expressed in feet. In the event the property is bound by more than one unimproved perimeter street, such formula shall apply to each such street. A total waiver of perimeter street responsibility is not within the contemplation of these rules and regulations.
- (6) However, in any event, perimeter street escrow responsibility shall not exceed the factor of 0.0035 times the current street cost per linear foot (one-half of the applicable street width, based on zoning) times the square footage of the plat, plus six percent of such sum for future engineering costs.

C. *Participation and escrow.*

- (1) If the Owner chooses to construct a wider street than required by the city or these regulations, the Owner shall pay the entire cost for the street. However, in the event the city is required to participate in the construction costs as provided in this chapter, the city shall reimburse its proportionate share to the Owner upon completion and acceptance of the streets and drainage improvements.
- (2) The obligations and responsibilities delegated to the Owner herein shall become those of the Owner's transferees, successors and assigns; and the liability therefore, shall be joint and several.
- (3) For the purpose of this section, the first step of developing is the submission of a preliminary plat or the submission of a final plat, as the requirements thereof may be.
- (4) Payment of funds required to be placed in escrow shall be made after the preliminary plat is approved by the planning and zoning commission and prior to the approval of the final plat.
- (5) Escrows which have been placed with the city under this section which have been held for a period of ten years from the date of such agreement, in the event that council has not authorized the preparation of plans and specifications for construction of such street which the escrow was made, shall be returned to the Owner, with such interest as it has earned.

Sec. 8-20. Park land dedication by Developers.

A. *Assessment for park development.* An Owner shall pay to the City of Sachse the sum of \$1,100.00 for each lot contained within a residential Subdivision and \$600.00 per

GENERAL NOTES

- A. GENERAL
PAVEMENT THICKNESS FOR STRAIGHT CROWN STREETS SHALL BE AS SPECIFIED BELOW IN SPECIAL NOTES.
- STANDARD SPECIFICATIONS
- B. REINFORCED CONCRETE PAVEMENTS
1. ALL CURBS SHALL BE PLACED INTEGRAL WITH PAVEMENT.
 2. CURBS SHALL MEET THE SAME COMPRESSIVE STRENGTH AS SPECIFIED FOR THE CONCRETE PAVEMENT.
 3. DETAIL AND ARRANGEMENT OF JOINTS, ALL TYPES, SHALL BE AS SHOWN ON SHEETS 2, 6, 7 & 8 OF SECTION 2-B OF THE STANDARD CONSTRUCTION DETAILS.
 4. BAR LAPS SHALL BE 30 DIAMETERS
- C. SUBGRADE
SUBGRADE UNDER ALL PAVEMENT SHALL BE 8 INCHES THICK AND SHALL BE STABILIZED WITH 6% BY WEIGHT OF HYDRATED LIME (44 LBS/SQUARE YARD) AND COMPACTED TO A DENSITY NOT LESS THAN 95% AS DETERMINED BY A.A.S.H.O. T-99. LABORATORY TESTS MAY BE SUBMITTED TO THE ENGINEERING DEPARTMENT FOR APPROVAL TO LOWER AMOUNT OF LIME REQUIRED.
- D. BAR CHAIRS OR AN APPROVED SUPPORTING DEVICE SHALL BE FURNISHED.
- E. CROSS SLOPE SHALL BE 1/4" PER FOOT UNLESS APPROVED BY ENGINEERING DEPARTMENT.

SPECIAL NOTES

PVM'T WIDTH BACK-BACK	PVM'T THICKNESS	28 DAY COMPRESSIVE STRENGTH	LIME	SUBGRADE THICKNESS	REBAR SIZE	REBAR SPACING
31'	7" *	3500 psi	MINIMUM 6% BY UNIT WT. 44 LBS. PER SQUARE YARD	8"	#4 **	18" O.C.
37'	8"	3500 psi		8"	#4	18" O.C.
45'	8"	3500 psi		8"	#4	18" O.C.
2 - 25'	10"	4000 psi		8"	#4	18" O.C.
* 6" THICKNESS MAY BE USED BASED UPON RECOMMENDATIONS PROVIDED IN A SITE-SPECIFIC GEOTECHNICAL REPORT, SIGNED AND SEALED BY A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS.						
** IF ROAD IS NOT A DESIGNATED TRUCK ROUTE, #3 REBAR MAY BE USED BASED UPON RECOMMENDATIONS PROVIDED IN A SITE-SPECIFIC GEOTECHNICAL REPORT, SIGNED AND SEALED BY A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS.						

CITY OF SACHSE, TEXAS
DEPARTMENT OF ENGINEERING

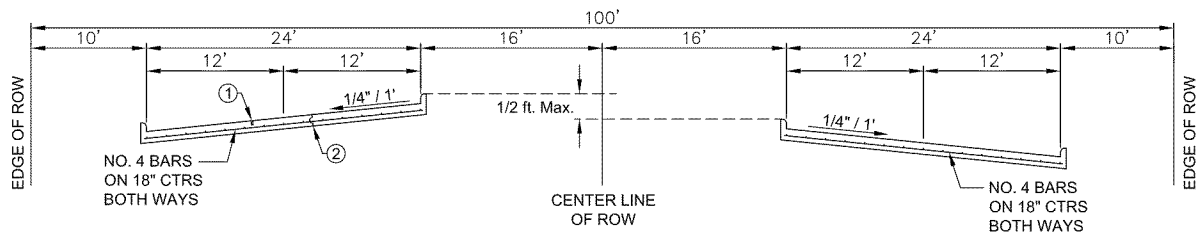
STANDARD CONSTRUCTION DETAILS
PAVING

STRAIGHT CROWN STREETS - NOTES

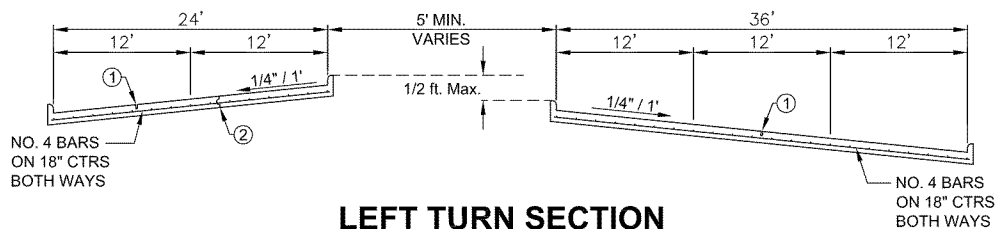
APPROVED:

DATE: SEPTEMBER 2013 REVISED:

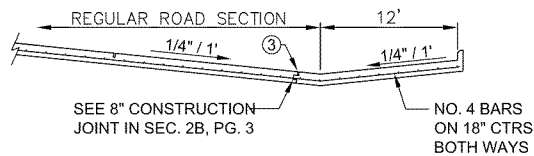
Page 2



REGULAR SECTION



LEFT TURN SECTION



RIGHT TURN SECTION

LEGEND

- ① SAWED LONGITUDINAL DUMMY JOINT
- ② CONSTRUCTION JOINT (FULL WIDTH PVMT IS ALLOWED WHERE APPROVED BY CITY OF SACHSE) DELETE IF PAVING IS 25 FT. WIDTH TO BE WIDENED LATER. INSTALL CURB IF PAVING IS LESS THAN FULL WIDTH OF 33' - 36'
- ③ SAW CUT CONSTRUCTION JOINT AND SEAL USING HOT POURED RUBBER JOINT SEALING COMPOUND

CITY OF SACHSE, TEXAS
DEPARTMENT OF ENGINEERING

STANDARD CONSTRUCTION DETAILS
PAVING

STRAIGHT CROWN STREETS

APPROVED:

DATE: SEPTEMBER 2013 REVISED:

Page 3

GENERAL NOTES

CURB RAMPS

1. Install a curb ramp or blended transition at each pedestrian street crossing.
2. All slopes shown are maximum allowable. Lesser slopes that will still drain properly should be used. Adjust curb ramp length or grade of approach sidewalks as directed.
3. The minimum residential sidewalk width is 4', sidewalks along thoroughfares to be a minimum of 5'. Where the sidewalk is adjacent to the back of curb, a 6' sidewalk width is desirable. Where a 4' sidewalk cannot be provided due to site constraints, sidewalk width may be reduced to 3' for short distances. 5'x 5' passing areas at intervals not to exceed 200' are required.
4. Landings shall be 5'x 5' minimum with a maximum 2% slope in any direction.
5. Maneuvering space at the bottom of curb ramps shall be a minimum of 4'x 4' wholly contained within the crosswalk and wholly outside the parallel vehicular travel path.
6. Maximum allowable cross slope on sidewalk and curb ramp surfaces is 2%.
7. Provide flared sides where the pedestrian circulation path crosses the curb ramp. Flared sides shall be sloped at 10% maximum, measured parallel to the curb. Returned curbs may be used only where pedestrians would not normally walk across the ramp, either because the adjacent surface is planted, substantially obstructed, or otherwise protected.
8. Additional information on curb ramp location, design, light reflective value and texture may be found in the current edition of the Texas Accessibility Standards (TAS) and 16 TAC 68.102.
9. To serve as a pedestrian refuge area, the median should be a minimum of 6' wide, measured from back of curbs. Medians should be designed to provide accessible passage over or through them.
10. Small channelization islands, which do not provide a minimum 5'x 5' landing at the top of curb ramps, shall be cut through level with the surface of the street.
11. Crosswalk dimensions, crosswalk markings and stop bar locations shall be as shown elsewhere in the plans. At intersections where crosswalk markings are not required, curb ramps shall align with theoretical crosswalks unless otherwise directed.
12. Handrails are not required on curb ramps. Provide curb ramps wherever on accessible route crosses (penetrates) a curb.
13. Place concrete at a minimum depth of 5" for ramps, flares and landings, unless otherwise directed.
14. Provide a smooth transition where the curb ramps connect to the street.
15. Existing features that comply with TAS may remain in place unless otherwise shown on the plans.

DETECTABLE WARNING MATERIAL

16. Curb ramps must contain a detectable warning surface that consists of raised truncated domes complying with Section 705 of the TAS. The surface must contrast visually with adjoining surfaces, including side flares. Furnish and install an approved cast-in-place dark red detectable warning surface material or brick pavers adjacent to uncolored concrete, unless specified elsewhere in the plans.
17. Detectable Warning Materials must meet TxDOT Departmental Materials Specification DMS 4350 and be listed on the Material Producer List. Install products in accordance with manufacturer's specifications.
18. Detectable warning surfaces must be slip resistant and not allow water to accumulate.
19. Detectable warning surfaces shall be a minimum of 24" in depth in the direction of pedestrian travel, and extend the full width of the curb ramp or landing where the pedestrian access route enters the street.
20. Detectable warning surfaces shall be located so that the edge nearest the curb line is at the back of curb. Align the rows of domes to be perpendicular to the grade break between the ramp run and the street. Detectable warning surfaces may be curved along the corner radius.

DETECTABLE WARNING PAVERS

21. Furnish detectable warning paver units meeting all requirements of ASTM C-936, C-33. Lay in a two by two unit basket weave pattern or as directed.
22. Lay full-size units first followed by closure units consisting of at least 25 percent of a full unit. Cut detectable warning paver units using a power saw.

CITY OF SACHSE, TEXAS
DEPARTMENT OF ENGINEERING

STANDARD CONSTRUCTION DETAILS
PAVING

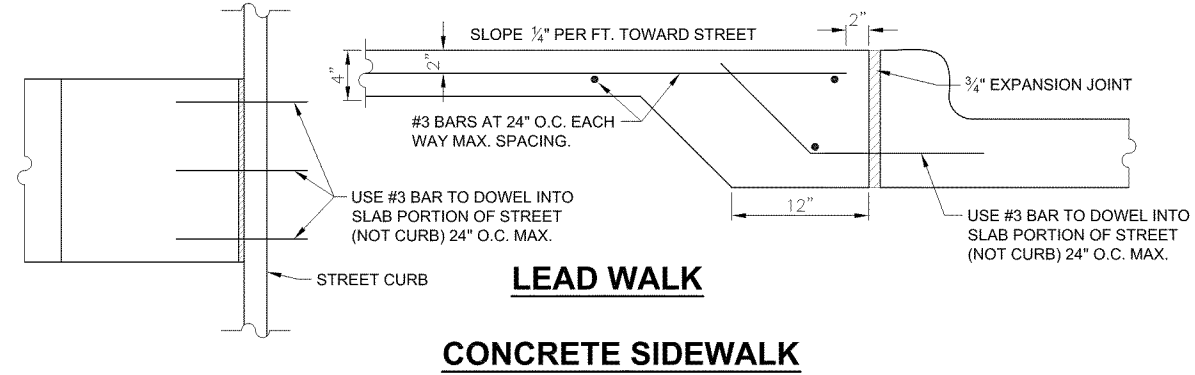
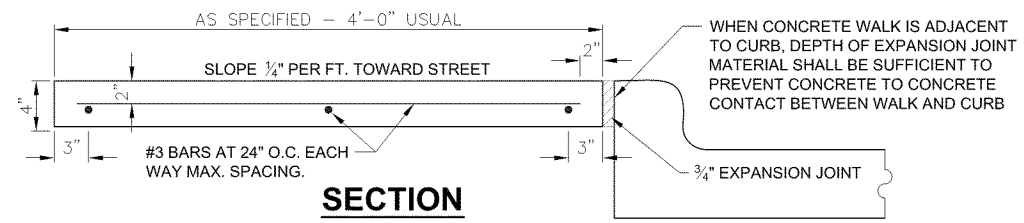
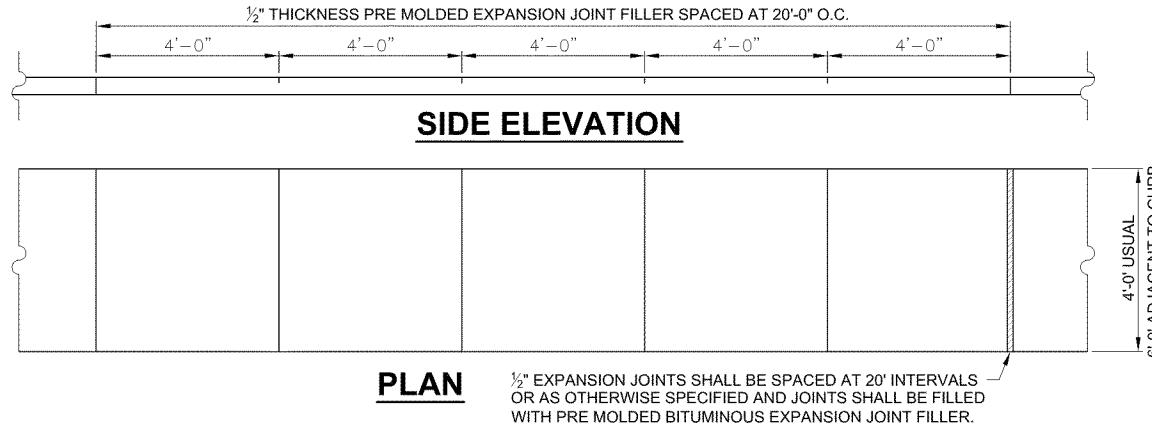
BARRIER FREE RAMP GENERAL NOTES

APPROVED:

DATE: SEPTEMBER 2013

REVISED:

Page 2



- NOTES:
1. SELECT MATERIAL (EXC. SAND) MAY BE PLACED UNDER CONCRETE SIDEWALK FOR GRADING PURPOSES TO ACHIEVE A UNIFORM SURFACE OR SUBGRADE UPON WHICH TO PLACE CONCRETE.
 2. ALL SUBGRADE BENEATH SIDEWALKS TO BE COMPACTED TO 95% STANDARD PROCTOR DENSITY.
 3. ALL SIDEWALKS TO BE CONSTRUCTED IN ACCORDANCE WITH TEXAS ACCESSIBILITY STANDARDS (TAS).
 4. STANDARD 4' WIDE CONCRETE SIDEWALK SHALL BE CONSTRUCTED WITH A ONE (1) FOOT SPACE BETWEEN THE PROPERTY R.O.W. LINE AND THE EDGE OF THE SIDEWALK.

CITY OF SACHSE, TEXAS		
DEPARTMENT OF ENGINEERING		
STANDARD CONSTRUCTION DETAILS		
PAVING		
SIDEWALKS		
APPROVED:		
DATE: SEPTEMBER 2013	REVISED:	Page 3



WAIVER REQUEST
SUBDIVISION ORDINANCE OF THE CITY OF SACHSE, TEXAS

CITY COUNCIL
JUNE 16, 2014

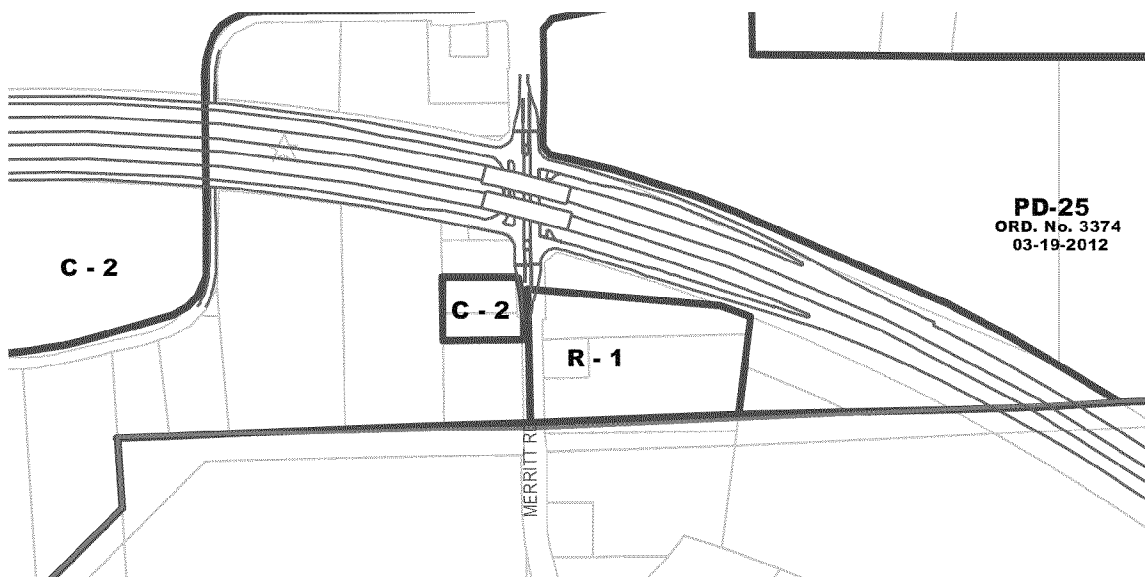
OVERVIEW

- Applicant information
- Property Location
- Proposed Street Alignment
- Overview of the Waiver Request
- Subdivision Ordinance Intent and Purpose
- Subdivision Ordinance Waiver Provisions
- Waiver Considerations
- Staff Recommendation

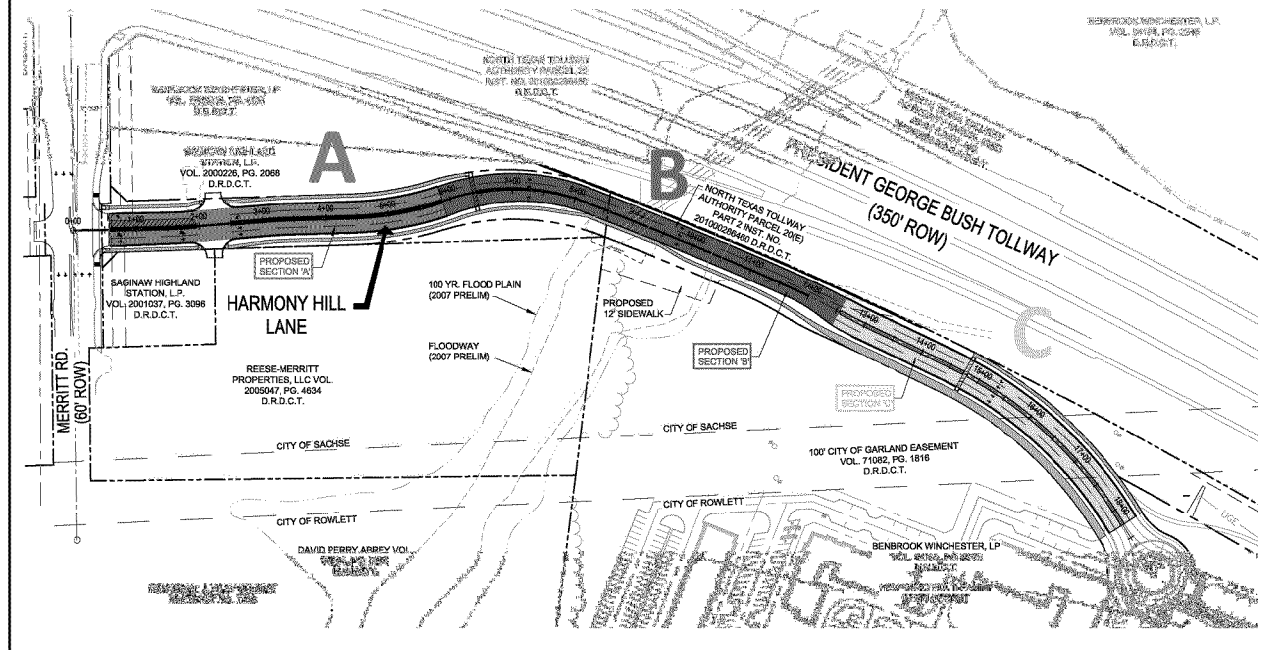
Applicant Information

- The Applicant, Huffines Communities, represents the Subject Property, along with adjacent properties in Sachse and Rowlett.
- The Applicant is seeking to construct a street in the City of Sachse, from Merritt Road to their property in Rowlett.

Property Location



Requested Street Alignment



Waiver Request Overview

The Applicant has submitted a request for a waiver to the Subdivision Ordinance of the City of Sachse for the proposed design and construction of a street.

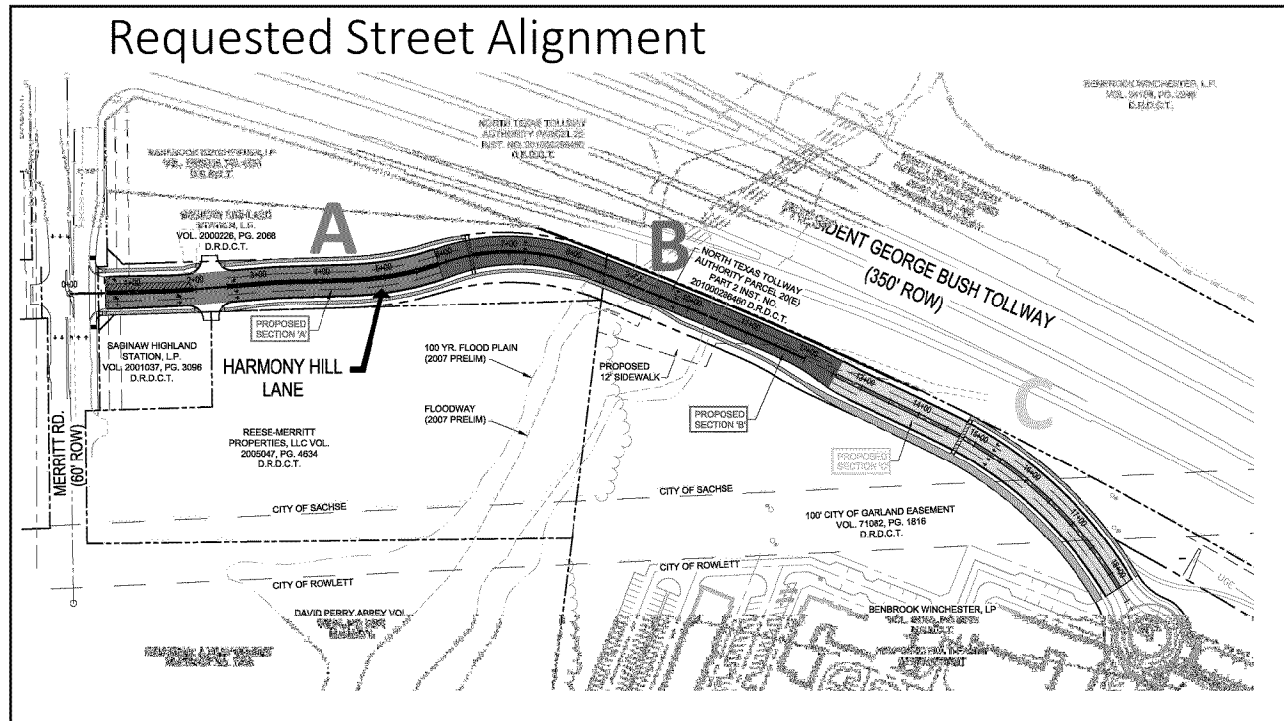
Applicant's Requested Street

- A. Section A, a 4-lane divided street section with:
 - i. 80-foot R.O.W.
 - ii. Four 12-foot lanes
 - iii. 6-foot median
 - iv. Superelevation
- B. Section B, a 3-lane divided street section with:
 - i. 71-foot R.O.W.
 - ii. 14-foot eastbound lane
 - iii. two 11-foot wide westbound lanes
 - iv. 2-foot median
 - v. 6-foot sidewalk on one side
- C. Section C, a 4-lane divided street section with :
 - i. 80-foot R.O.W.
 - ii. Four 12-foot lanes
 - iii. 6-foot median
 - iv. 5-foot sidewalk on North side, and a 12-foot sidewalk on South side

City of Sachse Requirements (for Sections A, B, and C)

The City of Sachse standard perimeter street has:

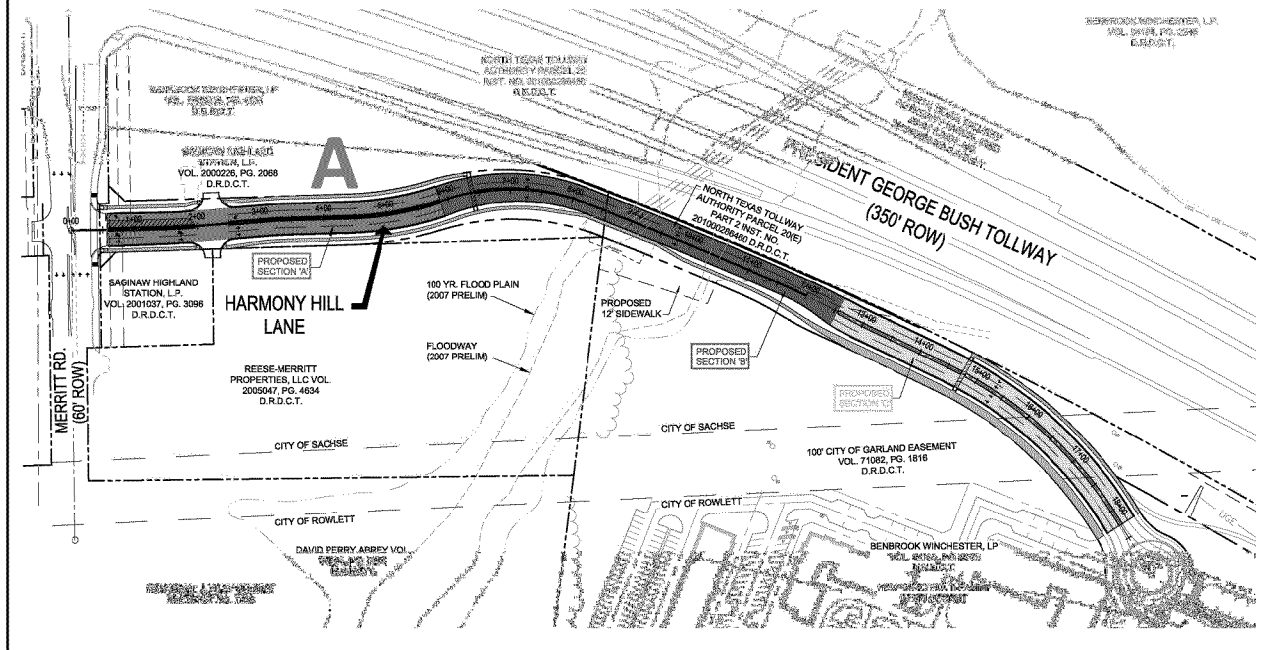
- i. Minimum 60-foot R.O.W.
- ii. Four 11-foot wide lanes (1 - 45' wide section)
- iii. No median (undivided)
- iv. 2% slope away from the crown of the street
- v. Sidewalk on both sides of the street



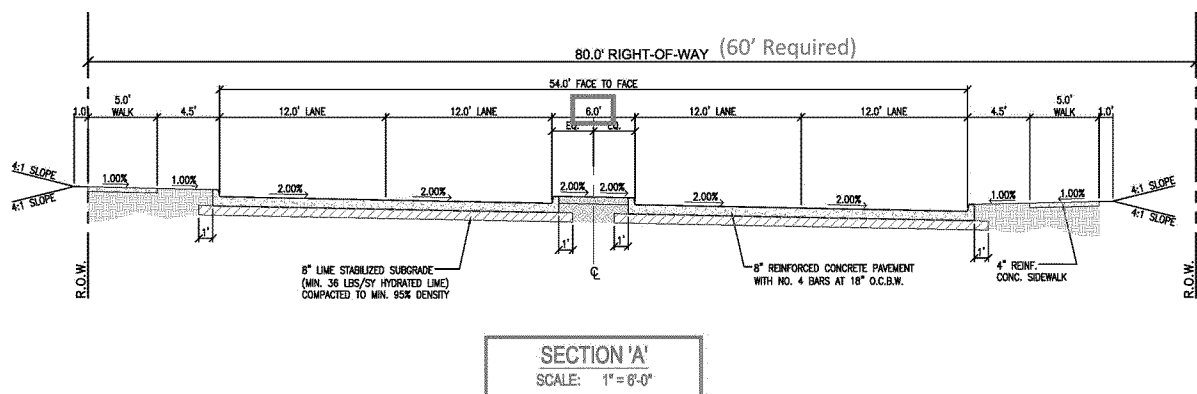
Waiver Request - A

- The Applicant has requested a waiver to allow the construction of Street Section A:
 - 80-foot Right-of-Way (R.O.W.) [Greater than minimum requirements]
 - Four 12-foot wide traffic lanes [Greater than minimum requirements]
 - 6-foot median [Not required]
 - Superelevation of the street [Appropriate for roadway location]
- The Applicant has submitted the following reasons for the waiver request for Street Section A:
 - Note: Section A and Section C are the same section and differ only by the addition of superelevation for section A.
 - Divided roadway section to provide for fire access to serve portions of the development both in the City of Sachse and the City of Rowlett.
 - Narrow street section conforms to City of Sachse pavement sections, but would be a variance to the standard median section, as developer is constructing 100% of the perimeter roadway at their expense.

Requested Street Alignment

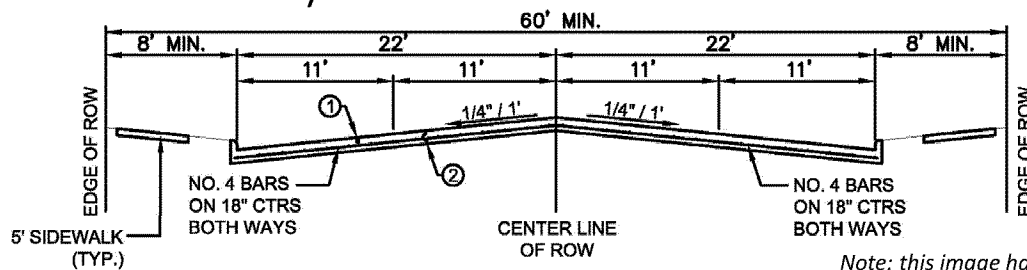


Requested Section A



- Proposed 80-foot R.O.W.
- 4-12' Lanes
- 6' Median [Not required]
- Superelevated Street Section

Standard City of Sachse Perimeter Street



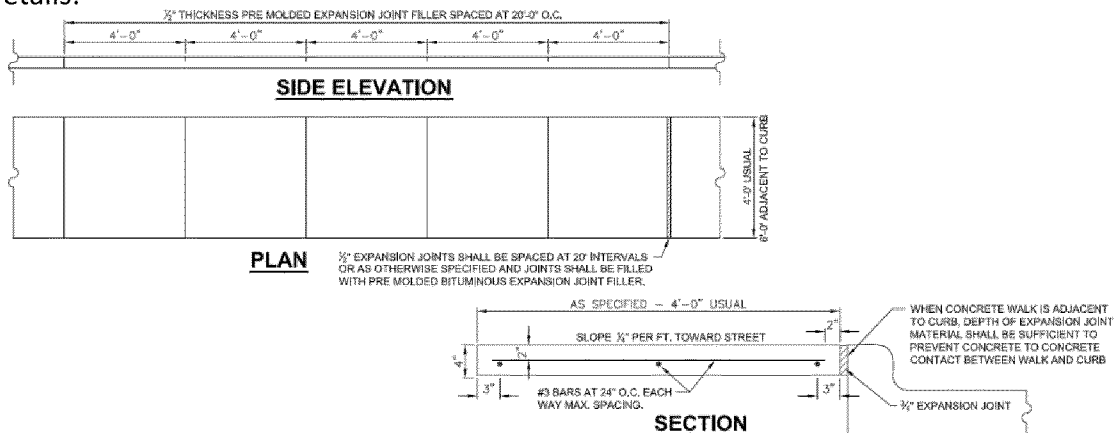
REGULAR SECTION

Note: this image has been drawn to provide a visual representation of the written requirements outlined in the Subdivision Ordinance and Standard Construction Details

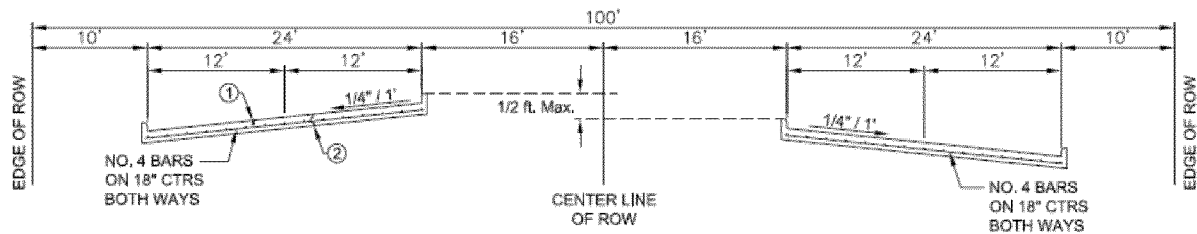
- R.O.W. Width: Minimum 60'
 - (Subdivision Ordinance, 8-16(9)a)
- Pavement: 45' paving section
 - (Subdivision Ordinance, 8-19, Standard Construction Details – Section 2A Page 2)
- 4-11' Lanes, no median
- Crown
- 5' sidewalk on both sides

City of Sachse – Standard Sidewalk

- Per Section 2-C, Page 2, note 3:
 - “The minimum residential sidewalk width is 4', sidewalks along thoroughfares to be a minimum of 5'. Where the sidewalk is adjacent to the back of curb, a 6' sidewalk width is desirable.”
- Sidewalk Details from Section 2-C, Page 3 of the City of Sachse Standard Construction Details:

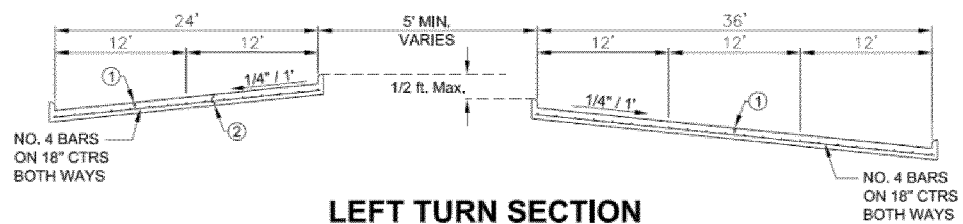


Standard City of Sachse Divided 4-lane Street Section



REGULAR SECTION

Note: The City of Sachse 4-lane divided street section is not required for this project.



LEFT TURN SECTION

Subdivision Ordinance – Intent and Purpose

Section 8-3 Intent and Purpose.

A. *Intent.* In the interpretation and application of the provisions of these regulations, it is the intention of the City Council that the principles, standards and requirements provided for herein shall be minimum requirements for the platting and developing of subdivisions in the City of Sachse and, where other ordinances of the city are more restrictive in their requirements, such other ordinances shall control.

B. *Purpose.*

- (1) Promote and develop the utilization of land in a manner to assure the best possible community environment in accordance with the adopted plans and regulations of the City of Sachse;
- (2) Guide and assist the developers in the correct procedures to be followed and to inform them of the standards which shall be required;
- (3) Protect the public interest by supervising the location, design, class and type of streets, sidewalks, utilities and essential areas and services required; and
- (4) Protect and promote the public health, safety and general welfare.

Subdivision Ordinance – Waiver Provisions

Section 8-8 Waivers.

- A. *Authorization.* The City Council may authorize a waiver from these regulations when in its opinion undue hardship will result from requiring strict compliance. In granting waiver, the City Council shall prescribe only conditions that it deems necessary or desirable to the public interest and making the findings herein below required. The City Council shall take into account the nature of the proposed use of land involved and existing uses of the land in the vicinity, the number of persons who will reside or work in the proposed Subdivision, and the probable effect of such waiver upon traffic conditions and upon the public health, safety, convenience and welfare in the vicinity...

Subdivision Ordinance – Waiver Provisions

Section 8-8 Waivers. (continued)

No waiver will be granted unless the City Council finds:

- (1) That there are special circumstances or conditions affecting the land involved such that the strict application of the provisions of this ordinance would deprive the applicant of the reasonable use of their land.
- (2) That the waiver is necessary for the preservation and enjoyment of a substantial property right of the applicant, that the granting of the waiver will not be detrimental to the public health, safety or welfare or injurious to other property in the area.
- (3) That the granting of the waiver will not have the effect of preventing the orderly Subdivision of other lands in the area in accordance with the provisions of this chapter. Such finding of the City Council together with the specific facts on which such findings are based shall be incorporated under the official minutes of the City Council meeting at which such waiver is granted. Waivers may be granted only when in harmony with the general purpose and intent of this chapter so that the public health, safety and welfare may be secured and substantial justice done. Pecuniary hardship to the sub-divider, standing alone, shall not be deemed to constitute undue hardship.

Waiver Request A - Staff Findings

(1) That there are special circumstances or conditions affecting the land involved such that the strict application of the provisions of this ordinance would deprive the applicant of the reasonable use of their land.

Superelevation

- The existing street grade of Merritt Road at the intersection with the requested street does create a special condition. The existing Merritt Road pavement is sloped at 3.3% to the south at the intersection with requested Section A. Superelevating the street is appropriate from a technical standpoint.

6-foot median

- The applicant is requesting to construct a street section that exceeds the minimum standard street required by the City.
- Staff finds that the requested Section A exceeds the minimum standards required in the ordinance.

Waiver Request A - Staff Findings

(2) That the waiver is necessary for the preservation and enjoyment of a substantial property right of the applicant, that the granting of the waiver will not be detrimental to the public health, safety or welfare or injurious to other property in the area.

Superelevation

- Staff finds that the superelevation of the street is desirable for the reasonable connection of the requested street to Merritt Road, providing access to the property.

6-foot median

- Staff finds the requested street Section A to exceed the minimum requirements for a perimeter street.
- Staff finds that the construction of the requested street Section A will not negatively impact traffic patterns compared to the standard perimeter street.

Waiver Request A - Staff Findings

(3) That the granting of the waiver will not have the effect of preventing the orderly Subdivision of other lands in the area in accordance with the provisions of this chapter. Such finding of the City Council together with the specific facts on which such findings are based shall be incorporated under the official minutes of the City Council meeting at which such waiver is granted. Waivers may be granted only when in harmony with the general purpose and intent of this chapter so that the public health, safety and welfare may be secured and substantial justice done. Pecuniary hardship to the sub-divider, standing alone, shall not be deemed to constitute undue hardship.

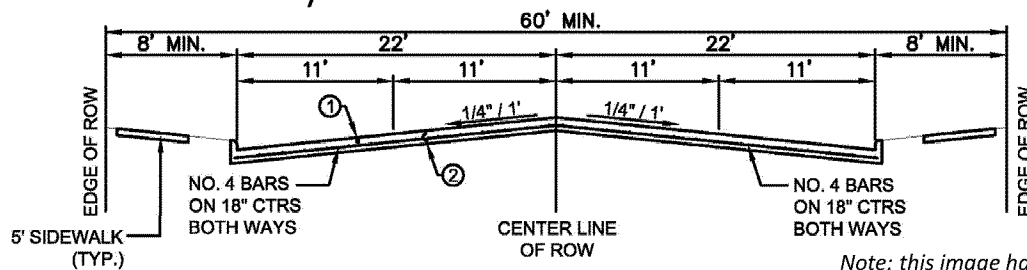
Staff finds that granting of the waiver would not have the effect of preventing the orderly Subdivision of other lands in the area.

Note: Section A shows two driveways on the plan. The number and location of driveways for Section A, Section B, and Section C are not part of this waiver request. The number and location of driveways will be part of the construction plan review and approval process.

Waiver Request - B

- The Applicant has requested a waiver to allow for the construction of Street Section B:
 - 71-foot wide R.O.W. [Greater than minimum requirements]
 - Three lane divided street [Less than required]
 - One 14-foot traffic lane (eastbound) [Greater width than minimum requirements]
 - Two 11-foot traffic lanes (westbound) [Meets minimum requirements]
 - 2-foot wide median [Not required]
 - 6-foot sidewalk on one side of the street [Less than minimum requirements]
- The Applicant has submitted the following reasons for the waiver request for Street Section B:
 - A pinch point created by existing culvert system and NTTA R.O.W., which is a physical constraint.
 - Horizontal distance between culvert system and R.O.W. does not allow for standard section and provide fire access.
 - Widening of roadway section would force culvert extension, resulting in drainage liability for raises to the FEMA 100-yr water surface upstream and increases downstream velocities in creek.

Standard City of Sachse Perimeter Street



REGULAR SECTION

Note: this image has been drawn to provide a visual representation of the written requirements outlined in the Subdivision Ordinance and Standard Construction Details

- R.O.W. Width: Minimum 60'
 - (Subdivision Ordinance, 8-16(9)a)
- Pavement: 45' paving section
 - (Subdivision Ordinance, 8-19, Standard Construction Details – Section 2A Page 2)
- 4-11' Lanes, no median
- Crown
- 5' sidewalk on both sides

Waiver Request B – Staff Findings

(1) That there are special circumstances or conditions affecting the land involved such that the strict application of the provisions of this ordinance would deprive the applicant of the reasonable use of their land.

Street section

- Staff finds that the location of the subject property, adjacent properties, NTTA right-of-way, and geographical features do create a special condition in Section B.
- The NTTA President George Bush Turnpike (PGBT), a limited access tollroad, has no available connectivity to the adjacent property in Sachse. Therefore, the requested street in Section B is the only method of access to a public right-of-way for the eastern section of the subject property.
- Fire coverage requires two points of access. A median-divided street is an acceptable alternative when only a single access point is available to provide access to a property.

Sidewalk

- Staff finds that the adjacency of the NTTA PGBT, a limited access tollroad, is a special condition. The PGBT has no pedestrian access or pedestrian facilities. A sidewalk along the north side of Section B would not serve as pedestrian access to the adjacent NTTA right-of-way along Section B.
- A crosswalk is provided on each end of Section B, to allow pedestrian movement to the sidewalk along the south side of the requested street Section B. There is a continuous sidewalk along the south side of street Sections A, B, and C.

Waiver Request B – Staff Findings

(2) That the waiver is necessary for the preservation and enjoyment of a substantial property right of the applicant, that the granting of the waiver will not be detrimental to the public health, safety or welfare or injurious to other property in the area.

Street section

- Staff finds that access to a public right-of-way is a substantial property right of the Applicant.

Sidewalk

- The property adjacent to Section B is NTTA right-of-way, which has no pedestrian access, or pedestrian facilities.
- A crosswalk is provided in Section B and Section C, to allow pedestrian movement to the sidewalk along the south side of the requested street Section B. There is a continuous sidewalk along the south side of street Sections A, B, and C.

Waiver Request B – Staff Findings (Continued)

8-8 Waivers. No waiver will be granted unless the City Council finds:

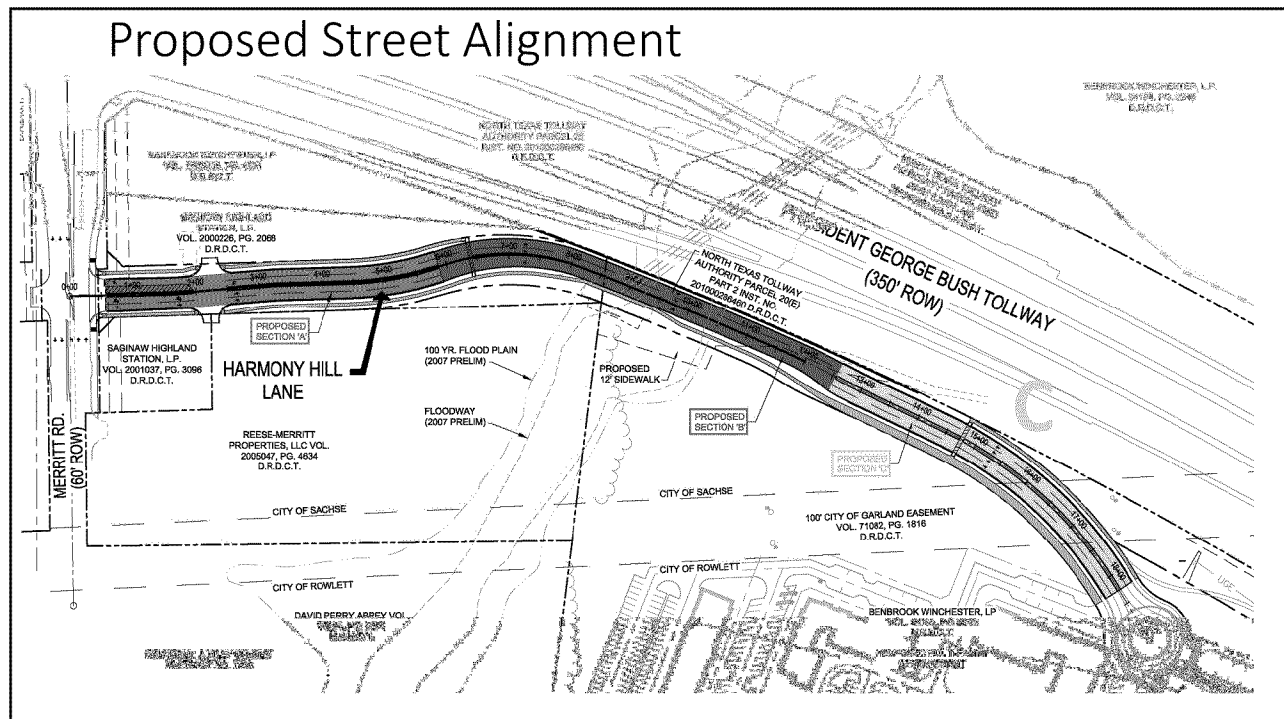
(3) That the granting of the waiver will not have the effect of preventing the orderly Subdivision of other lands in the area in accordance with the provisions of this chapter. Such finding of the City Council together with the specific facts on which such findings are based shall be incorporated under the official minutes of the City Council meeting at which such waiver is granted. Waivers may be granted only when in harmony with the general purpose and intent of this chapter so that the public health, safety and welfare may be secured and substantial justice done. Pecuniary hardship to the sub-divider, standing alone, shall not be deemed to constitute undue hardship.

Staff finds that granting of the waiver would not have the effect of preventing the orderly Subdivision of other lands in the area.

Note: The number and location of driveways for Section A, Section B, and Section C are not part of this waiver request. The number and location of driveways will be part of the construction plan review and approval process.

Waiver Request – Section C

- The Applicant has requested a waiver to allow the construction of Street Section C:
 - 80-foot Right-of-Way (R.O.W.) [Greater than minimum requirements]
 - Four 12-foot wide traffic lanes [Greater than minimum requirements]
 - 6-foot median [Not required]
 - 5-foot sidewalk along part of the north side [Less than required]
 - 12-foot sidewalk along the south side [Greater than minimum requirements]
- The Applicant has submitted the following reasons for the waiver request for Street Section C:
 - Note: Section A and Section C are the same section and differ only by the addition of superelevation for section A.
 - Divided roadway section to provide for fire access to serve portions of the development both in the City of Sachse and the City of Rowlett.
 - Narrow street section conforms to City of Sachse pavement sections, but would be a variance to the standard median section, as developer is constructing 100% of the perimeter roadway at their expense.



Waiver Request C – Staff Findings

(1) That there are special circumstances or conditions affecting the land involved such that the strict application of the provisions of this ordinance would deprive the applicant of the reasonable use of their land.

Six-foot median

- The applicant is requesting to construct a street pavement section that exceeds the minimum standard street required by the City.
- Staff finds that the requested street pavement in Section C exceeds the minimum standards required in the ordinance.

Sidewalk

- A crosswalk is provided in Section C, to allow pedestrian movement to the sidewalk along the south side of the requested street Section B. There is a continuous sidewalk along the south side of street Sections A, B, and C.
- Staff finds that the requested 5-foot sidewalk along the north side of the requested street Section C meets the minimum standards required in the ordinance.
- Staff finds that the requested 12-foot sidewalk along the south side of the requested street Section C exceeds the minimum standards required in the ordinance.

Waiver Request C – Staff Findings

(2) That the waiver is necessary for the preservation and enjoyment of a substantial property right of the applicant, that the granting of the waiver will not be detrimental to the public health, safety or welfare or injurious to other property in the area.

Six foot median

- Staff finds the requested street pavement section to exceed the minimum standard for a perimeter street. Staff finds that the construction of the requested street section, which is above and beyond the minimum City standard, will not cause detriment to the public health, safety or welfare.

Sidewalk

- Staff finds that the requested 5-foot sidewalk along the north side of the requested street Section C meets the minimum standards required in the ordinance.
- Staff finds that the 12-foot sidewalk along the south side of the requested street Section C exceeds the minimum requirements of the Subdivision Ordinance.

Waiver Request C – Staff Findings (Continued)

8-8 Waivers. No waiver will be granted unless the City Council finds:

(3) That the granting of the waiver will not have the effect of preventing the orderly Subdivision of other lands in the area in accordance with the provisions of this chapter. Such finding of the City Council together with the specific facts on which such findings are based shall be incorporated under the official minutes of the City Council meeting at which such waiver is granted. Waivers may be granted only when in harmony with the general purpose and intent of this chapter so that the public health, safety and welfare may be secured and substantial justice done. Pecuniary hardship to the sub-divider, standing alone, shall not be deemed to constitute undue hardship.

Staff finds that granting of the waiver would not have the effect of preventing the orderly Subdivision of other lands in the area.

Note: The number and location of driveways for Section A, Section B, and Section C are not part of this waiver request. The number and location of driveways will be part of the construction plan review and approval process.

Staff Recommendations

Section A

Staff recommends approval of the request for a waiver to the Subdivision Ordinance of the City of Sachse for the proposed design and construction of requested street Section A.

Section B

Staff recommends approval of the request for a waiver to the Subdivision Ordinance of the City of Sachse for the proposed design and construction of requested street Section B.

Section C

Staff recommends approval of the request for a waiver to the Subdivision Ordinance of the City of Sachse for the proposed design and construction of requested sidewalk Section C.



Legislation Details (With Text)

File #:	14-2281	Version:	1	Name:	Presentation of Results of Utility Rate Study by Economists.com Utility Rate Study Presentation by Economists.com
Type:	Agenda Item	Status:			Agenda Ready
File created:	6/11/2014	In control:			City Council
On agenda:	6/16/2014	Final action:			
Title:	Presentation by and discussion with staff of Economists.com regarding the results of the 2014 Water and Wastewater Rate Study and Financial Forecast. Executive Summary Dan Jackson and Rebecca Schafer of Economists.com will present the results of the 2014 Water and Wastewater Rate Study and Financial Forecast to the City Council.				

Sponsors:

Indexes:

Code sections:

Attachments: [2014 06 16 SACHSE COUNCIL WORKSESSION.pdf](#)

Date	Ver.	Action By	Action	Result
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Title

Presentation by and discussion with staff of Economists.com regarding the results of the 2014 Water and Wastewater Rate Study and Financial Forecast.

Executive Summary

Dan Jackson and Rebecca Schafer of Economists.com will present the results of the 2014 Water and Wastewater Rate Study and Financial Forecast to the City Council.

Background

The Fiscal Year 2013-2014 Utility Fund Budget included funding for a water and wastewater rate study. The last material rate increase to City of Sachse customers took effect in October 2011, and this increase was approved in July 2010 based on costs at that time and included annual Consumer Price Index(CPI) adjustments. The CPI adjustments during those years have been 4.0%, 1.7%, and 1.2%. During the same period, wholesale water rates have increased by 8.5% in 2012, 13.6% in 2013, 9.7% in 2014, wastewater treatment rates have increased by 10.0%, 4.9%, and 1.6%. North Texas Municipal Water District has proposed an increase of 9.9% beginning October 1, 2014.

The Fiscal Year 2013-2014 Utility Fund Budget was adopted with forecast expenditures exceeding forecasted revenues by \$70,324. Forecasted revenues were based on seasonal usage similar to the past two years; with the extension of Stage 3 drought restrictions, we anticipate a substantial reduction in gallons billed during the summer months.

Policy Considerations
None.

Budgetary Considerations

The City is faced with rising costs in all areas, particularly wholesale water rates. The number of gallons required to be purchased is 1.33 billion, and under current drought restrictions, the number of gallons billed to customers is significantly less. The continued financial viability of the Utility Fund is dependent on adoption of a rate structure that will cover the costs of providing water now and in the future.

Staff Recommendations

Staff recommends that the City Council receive and discuss the 2014 Water and Wastewater Rate Study and Financial Forecast.



City of Sachse

2014 Water and Wastewater Rate Study and Financial Forecast Presentation to City Council

June 16 2014

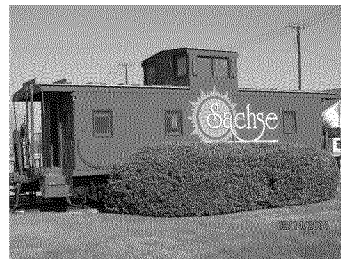


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Presentation Format



- ◆ Background on Rates
- ◆ Forecast Volumes and Revenue Requirements
- ◆ Capital Improvements
- ◆ Rate Plan Alternatives
- ◆ Next Steps

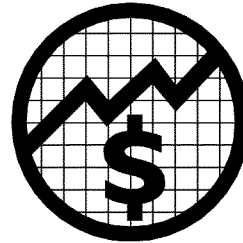


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Why are Water/WW Rates Increasing?



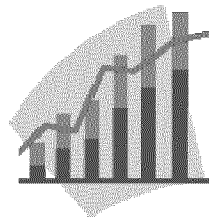
- ◆ Inflation
- ◆ General increases in the cost of doing business
- ◆ NTMWD & Garland rate increases
- ◆ Environmental and other regulations
- ◆ Capital Improvement Plan needed to repair and expand system



Findings Published in Recent Global Management Consulting Rate Survey



- ◆ Since 2001, nationwide residential monthly bill for 7,500 gallons has increased at a rate 250% greater than CPI
- ◆ Average **annual** increase for residential water customers has been **5.6%**
- ◆ For typical residential sewer bills, the average annual increase has been **6.1%**
- ◆ CPI-U average rate of change has been **2.4%**



City of Sachse Current Water/WW Rate Structure



Water Rates

Minimum Charge		
5/8" Meter	\$	8.56
3/4" Meter		8.56
1" Meter		13.54
1 1/2" Meter		21.87
2" Meter		31.85

Water Volume Rates (Residential & Commercial)

Volume Rate (per 1,000 Gallons)		
0 to -10,000	\$	2.96
10,001 to 15,000		3.69
15,001 to 20,000		4.44
20,001 to 30,000		5.18
Over 30,000		5.92

Residential Wastewater Base Rate

Minimum Charge		
All Residential Accounts	\$	8.03

Residential Wastewater Volume Rates

Volume Rate (per 1,000 Gallons)	\$	4.47
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Residential volume charges are based on average of monthly water usage during November through March with exception of highest month and lowest month.

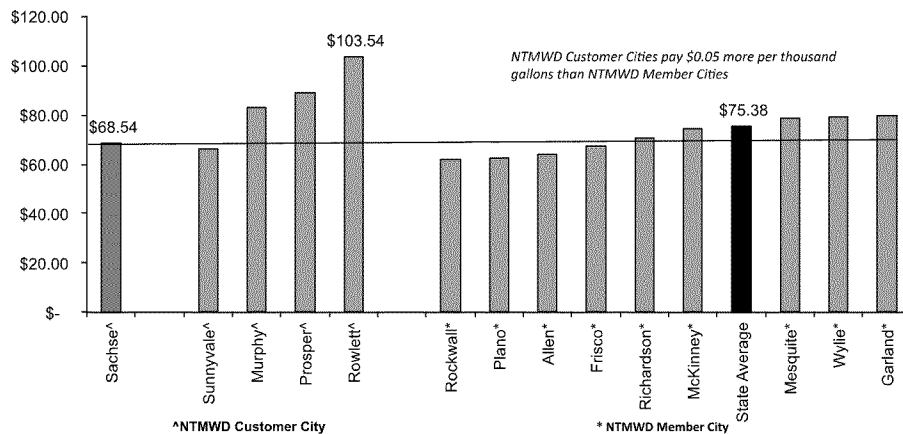
Non-Residential Wastewater Base Rates

Minimum Charge		
5/8"	\$	12.98
3/4"		12.98
1"		21.23
1 1/2"		31.15
2"		31.15

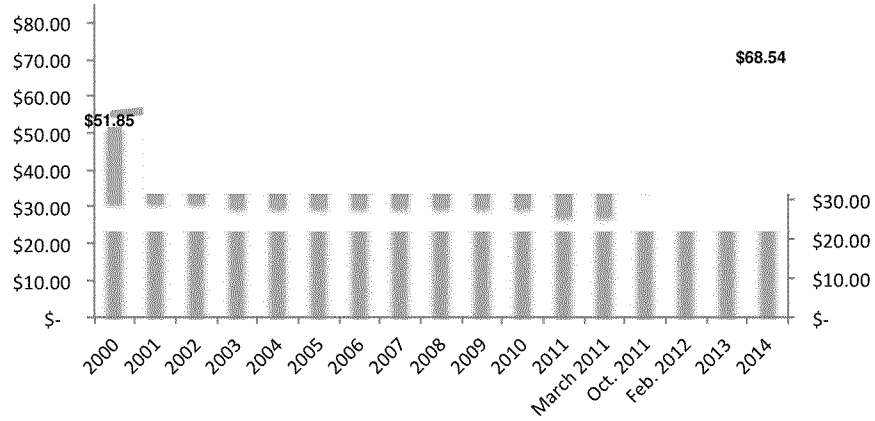
Non-Residential Wastewater Volume Rates

Volume Rate (per 1,000 Gallons)	\$	4.47
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Monthly Residential Charges 10,000 Gal Water; 5,000 Gal WW



City of Sachse Historical Rates 10,000 Gallons Water & 5,000 Gallons WW



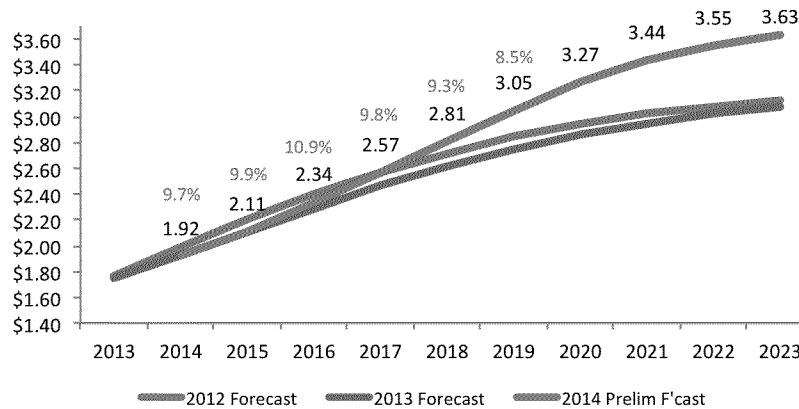
Increase to \$68.54 from \$51.85 over 14 years equals average of 2.2% annually

— 10,000 Gal. Water — 5,000 Gal. WW — 2.4% Annual CPI Only

NTMWD Rate Forecasts – Prepare for 10% Annual Increases



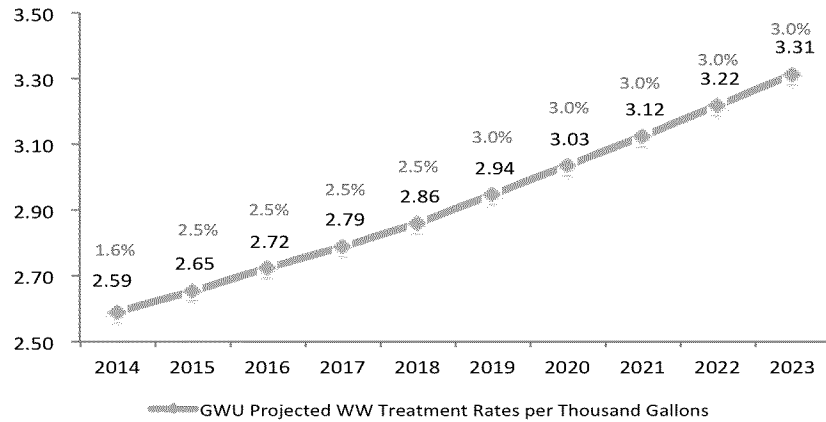
NTMWD comprises **61%** of the City's total Water cost of service



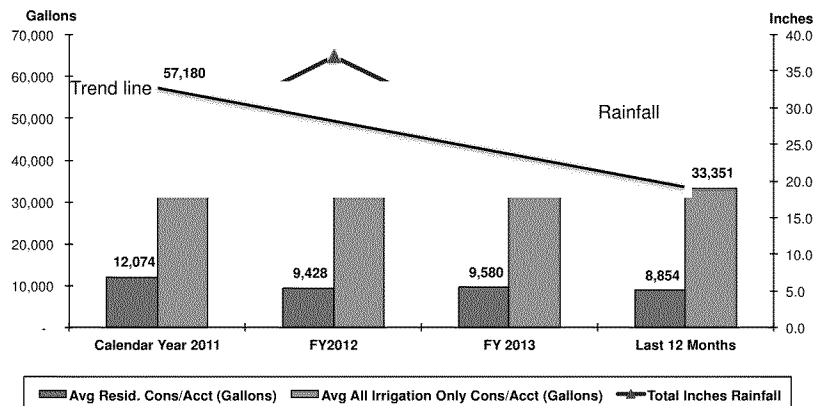
Garland Water Utility Wastewater Treatment Projected Increases



GWU comprises **69%** of the City's total WW Utility Cost of Service



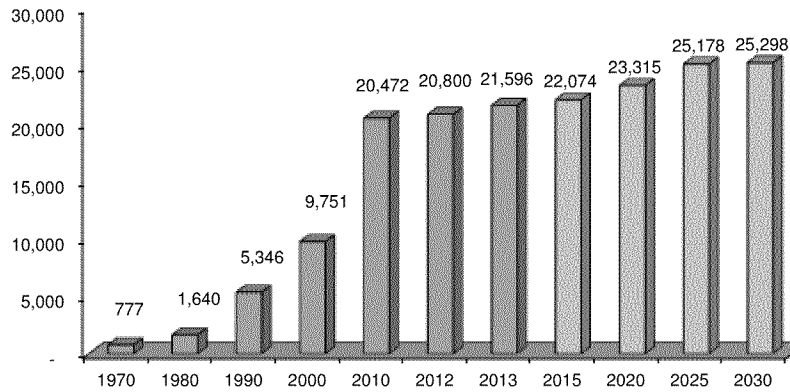
3 Year Residential & All Irrigation Consumption With Total Annual Precipitation



Forecast Population Growth



Population Growth
1970 -- 2012 Averaged 8.1% Annually
2013 -- 2025 Expected to Average 1.5% Annually

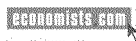
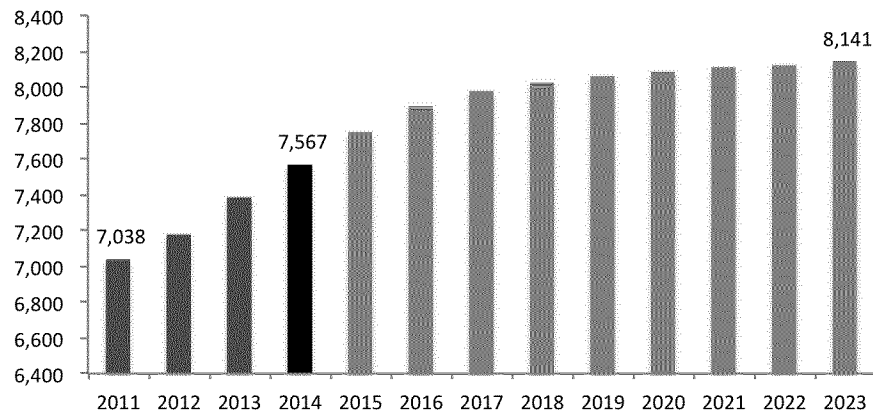


Source: US Census, TWDB, NCTCOG



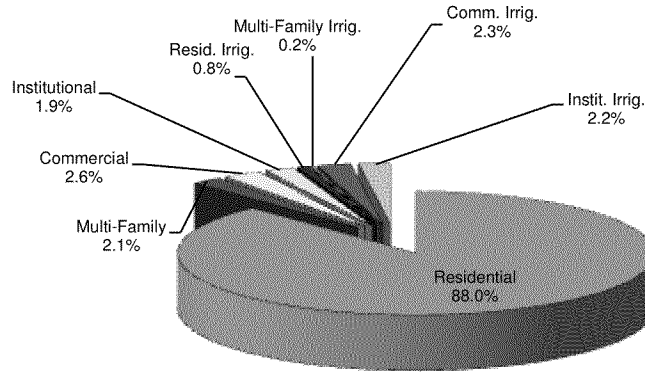
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Historical & Forecast Annual Total Water Accounts



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FY 2014 Water Usage by Customer Class



**721,218,555
Total Gallons**

FY 2014 Water/WW Cost of Service



	Total Budget	WATER Utility	WASTEWATER Utility
Total Operating/Cap Outlays	\$ 6,313,065	\$ 3,579,821	\$ 2,733,244
Capital Outlays	40,000	35,000	5,000
Debt Service	136,560	136,560	-
General Fund Transfers	<u>890,789</u>	<u>496,501</u>	<u>394,288</u>
Total Cost of Service	7,380,414	4,247,882	3,132,532
Less Non-Rate Revenues	<u>(194,800)</u>	<u>(111,350)</u>	<u>(83,450)</u>
Net Revenue Requirement	\$ 7,185,614	\$ 4,136,532	\$ 3,049,082

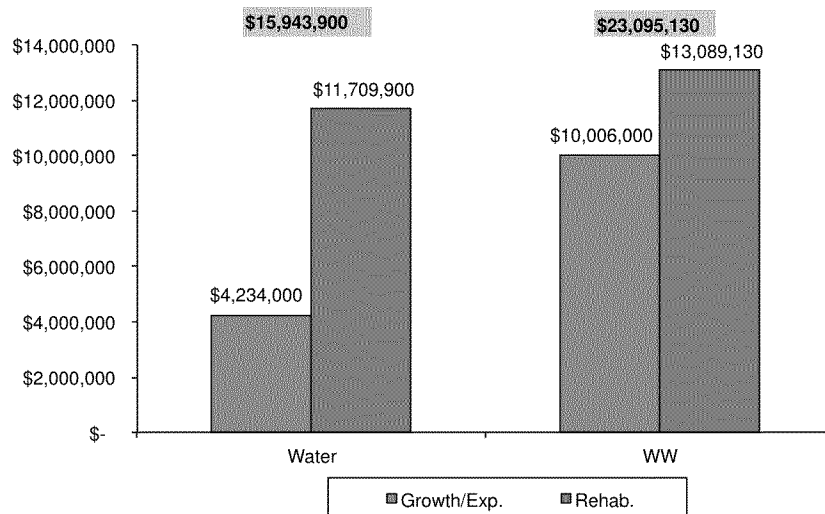
10 Year Forecast Primary Assumptions



- ◆ Most personnel and operating expenses will increase 3% per year
- ◆ Some expenses (insurance/energy) will increase at higher rates – most notably NTMWD
- ◆ Certain expenses will increase with volume and customer growth (electricity/chemicals)
- ◆ Most significant impact on rates – how to fund **capital improvement plan, including repair and replacement**



Capital Improvement Plan 2014 -- 2023



Notes on Rate Alternatives



- ◆ Under any scenario, rate adjustments are required to fund increasing operating expenses and NTMWD/Garland costs
- ◆ Ultimate level of rate adjustments will depend on the degree to which City funds its long-term capital improvement needs
- ◆ 5 alternatives will be presented to illustrate the impact of differing assumptions for CIP funding



Rate Plan Alternatives



- ◆ **Alternative 1** – Fund 100% of CIP, including repair and replacement, through rates
- ◆ **Alternative 2** – Fund 50% of CIP, including repair and replacement, through rates
- ◆ **Alternative 3** – Fund 25% of CIP, including repair and replacement, through rates
- ◆ **Alternative 4** – Fund \$150,000 per year of capital improvements through rates
- ◆ **Alternative 5** – Limited CIP – fund only WW project, property purchase for overhead storage, New Water Tower and \$150,000 annually for Repair and Replacement

Forecast Bond Issues 2014-2019 Alternatives 1-5



Alt	Water	Wastewater	Total
1	\$ 14,000,000	\$ 22,000,000	\$ 36,000,000
2	7,000,000	11,000,000	18,000,000
3	3,500,000	5,500,000	9,000,000
4	-	-	-
5	3,000,000	10,000,000	13,000,000

Alternative 1 -- 100% CIP Funding Forecast Cost of Service



	2014	2015	2016	2017	2018
WATER Utility Revenue Requirement					
Operating Expenses	\$ 4,076,322	\$ 4,403,511	\$ 4,788,447	\$ 5,169,538	\$ 5,565,446
Capital Outlays (Vehicles,Meters,Pumps)	35,000	65,000	61,000	35,000	335,000
Debt Service	136,560	137,738	138,694	837,413	840,020
Total Cost of Service	4,247,882	4,606,249	4,988,141	6,041,951	6,740,467
WASTEWATER Utility Revenue Requirement					
Operating Expenses	3,127,532	3,269,200	3,417,392	3,545,688	3,670,898
Capital Outlays/ Rep. & Repl.	5,000	105,000	5,000	5,000	115,000
Debt Service	-	-	1,163,330	1,166,938	1,170,663
Total Cost of Service	3,132,532	3,374,200	4,585,723	4,717,626	4,956,562

Alternative 1 – 100% CIP Funding Proposed Rate Plan



	Effective Date of Rate Adjustment					
	Current	Oct-14	Oct-15	Oct-16	Oct-17	Oct-18

Alt 1 - 100% CIP Funding

WATER Rates

Minimum Charge -- Residential \$ 8.56 \$ 10.70 \$ 13.05 \$ 15.66 \$ 17.23 \$ 18.27

Volume Charge

-	--	10,000	2.96	3.70	4.51	5.42	5.96	6.32
10,001	--	15,000	3.69	4.61	5.63	6.75	7.43	7.87
15,001	--	20,000	4.44	5.55	6.77	8.13	8.94	9.47
20,001	--	30,000	5.18	6.48	7.90	9.48	10.43	11.05
30,001	--	Above	5.92	7.40	9.03	10.83	11.92	12.63

WASTEWATER Rates

Residential -- Minimum	8.03	9.64	11.56	12.26	12.99	13.77
Volume/1,000 Gal	4.47	5.36	6.44	6.82	7.23	7.67
(Based on Winter Avg)						

Alternative 1 Impact on Residential Monthly Charge 10,000 Gal Water, 5,000 Gal WW



	Current	Oct-14	Oct-15	Oct-16	Oct-17	Oct-18
Alt 1 -- 100% CIP	\$ 68.54	\$ 84.16	\$ 101.94	\$ 116.20	\$ 125.97	\$ 133.53
		15.62	17.79	14.26	9.77	7.56

Alt 2 -- 50% CIP

Alt 3 -- 25% CIP

Alt 4 -- \$150,000
Annual CIP

Alt 5 -- Special
Projects CIP

Alternative 2 -- 50% CIP Funding Forecast Cost of Service



Alt 2 - 50% CIP Funding

	2014	2015	2016	2017	2018
WATER Utility Revenue Requirement					
Operating Expenses	\$ 4,076,322	\$ 4,403,511	\$ 4,788,447	\$ 5,169,538	\$ 5,565,446
Capital Outlays (Vehicles,Meters,Pumps)	35,000	65,000	61,000	35,000	335,000
Debt Service	136,560	137,738	138,694	488,414	489,939
Total Cost of Service	4,247,882	4,606,249	4,988,141	5,692,952	6,390,385
WASTEWATER Utility Revenue Requirement					
Operating Expenses	3,127,532	3,269,200	3,417,392	3,545,688	3,670,898
Capital Outlays/ Rep. & Repl.	5,000	105,000	5,000	5,000	115,000
Debt Service	-	-	581,665	583,469	585,332
Total Cost of Service	3,132,532	3,374,200	4,004,058	4,134,157	4,371,230

Alternative 2 -- 50% CIP Funding Proposed Rate Plan



	Effective Date of Rate Adjustment					
	Current	Oct-14	Oct-15	Oct-16	Oct-17	Oct-18

Alt 2 - 50% CIP Funding

WATER Rates

Minimum Charge -- Residential	\$	8.56	\$	10.70	\$	12.31	\$	14.15	\$	15.57	\$	16.50
Volume Charge												
- -- 10,000		2.96		3.70		4.26		4.89		5.38		5.71
10,001 -- 15,000		3.69		4.61		5.30		6.10		6.71		7.11
15,001 -- 20,000		4.44		5.55		6.38		7.34		8.07		8.56
20,001 -- 30,000		5.18		6.48		7.45		8.56		9.42		9.98
30,001 -- Above		5.92		7.40		8.51		9.79		10.77		11.41

WASTEWATER Rate

Residential -- Minimum	\$	8.03	\$	9.64	\$	10.60	\$	11.02	\$	11.46	\$	11.92
Volume/1,000 Gal		4.47		5.36		5.90		6.14		6.38		6.64
(Based on Winter Avg)												

**Alternative 2
Impact on Residential Monthly Charge
10,000 Gal Water, 5,000 Gal WW**



	Current	Oct-14	Oct-15	Oct-16	Oct-17	Oct-18
Alt 1 -- 100% CIP	\$ 68.54	\$ 84.16 15.62	\$ 101.94 17.79	\$ 116.20 14.26	\$ 125.97 9.77	\$ 133.53 7.56
Alt 2 -- 50% CIP	68.54 -	84.16 15.62	94.96 10.80	104.79 9.83	112.77 7.98	118.66 5.90
Alt 3 -- 25% CIP						
Alt 4 -- \$150,000 Annual CIP						
Alt 5 -- Special Projects CIP						

**Alternative 3 -- 25% CIP Funding
Forecast Cost of Service**



Alt 3 - 25% CIP Funding

	2014	2015	2016	2017	2018
WATER Utility Revenue Requirement					
Operating Expenses	\$ 4,076,322	\$ 4,403,511	\$ 4,788,447	\$ 5,169,538	\$ 5,565,446
Capital Outlays (Vehicles,Meters,Pumps)	35,000	65,000	61,000	35,000	335,000
Debt Service	136,560	137,738	138,694	313,915	314,898
Total Cost of Service	4,247,882	4,606,249	4,988,141	5,518,452	6,215,344
WASTEWATER Utility Revenue Requirement					
Operating Expenses	3,127,532	3,269,200	3,417,392	3,545,688	3,670,898
Capital Outlays/ Rep. & Repl.	5,000	105,000	5,000	5,000	115,000
Debt Service	-	-	290,833	291,735	292,666
Total Cost of Service	3,132,532	3,374,200	3,713,225	3,842,422	4,078,564

Alternative 3 – 25% CIP Funding Proposed Rate Plan



	Effective Date of Rate Adjustment					
	Current	Oct-14	Oct-15	Oct-16	Oct-17	Oct-18

Alt 3 - 25% CIP Funding

WATER Rates

Minimum Charge -- Residential	\$	8.56	\$	10.70	\$	12.31	\$	13.78	\$	15.16	\$	16.07
Volume Charge												
- -- 10,000		2.96		3.70		4.26		4.77		5.24		5.56
10,001 -- 15,000		3.69		4.61		5.30		5.94		6.53		6.93
15,001 -- 20,000		4.44		5.55		6.38		7.15		7.86		8.34
20,001 -- 30,000		5.18		6.48		7.45		8.34		9.17		9.72
30,001 -- Above		5.92		7.40		8.51		9.53		10.48		11.11

WASTEWATER Rate

Residential -- Minimum		8.03		9.64		10.02		10.42		10.84		11.27
Volume/1,000 Gal		4.47		5.36		5.52		5.69		5.86		6.04
(Based on Winter Avg)												

Alternative 3 Impact on Residential Monthly Charge 10,000 Gal Water, 5,000 Gal WW



	Current	Oct-14	Oct-15	Oct-16	Oct-17	Oct-18
Alt 1 -- 100% CIP	\$ 68.54	\$ 84.16 15.62	\$ 101.94 17.79	\$ 116.20 14.26	\$ 125.97 9.77	\$ 133.53 7.56
Alt 2 -- 50% CIP	68.54 -	84.16 15.62	94.96 10.80	104.79 9.83	112.77 7.98	118.66 5.90
Alt 3 -- 25% CIP	68.54	84.16 15.62	92.50 8.35	100.31 7.81	107.73 7.41	113.10 5.37
Alt 4 -- \$150,000 Annual CIP						
Alt 5 -- Special Projects CIP						

Alternative 4 -- \$150,000 Annual Funding Notes on Rate Proposal



- ◆ This alternative assumes no new debt is issued to fund capital improvements in the next decade
- ◆ Beginning in FY 2015, \$150,000 added each year to Capital Outlays for minimal Repair and Replacement projects
- ◆ Total Expenditures for Repair and Replacement over decade = \$1,350,000; sufficient only to complete 6% of needed R&R
- ◆ **Unfunded Capital Needs in Forecast Period under this alternative = \$35,000,000**

Alternative 4 -- \$150,000 Annual CIP Forecast Cost of Service



Alt 4 - \$150,000 Annual Cap Outlays

	2014	2015	2016	2017	2018
WATER Utility Revenue Requirement					
Operating Expenses	\$ 4,076,322	\$ 4,403,511	\$ 4,788,447	\$ 5,169,538	\$ 5,565,446
Capital Outlays (Vehicles,Meters,Pumps)	110,000	140,000	136,000	110,000	410,000
Debt Service	136,560	137,738	138,694	139,415	139,858
Total Cost of Service	4,322,882	4,681,249	5,063,141	5,418,953	6,115,304

WASTEWATER Utility Revenue Requirement

Operating Expenses	3,127,532	3,269,200	3,417,392	3,545,688	3,670,898
Capital Outlays/ Rep. & Repl.	80,000	180,000	80,000	80,000	190,000
Debt Service	-	-	-	-	-
Total Cost of Service	3,207,532	3,449,200	3,497,392	3,625,688	3,860,898

Alternative 4 – \$150,000/YR Funding Uniform Water/WW Adjustments



	Effective Date of Rate Adjustment					
	Current	Oct-14	Oct-15	Oct-16	Oct-17	Oct-18
Alt 4 - \$150,000 Annual Cap Outlays						
WATER Rates						
Minimum Charge -- Residential	\$ 8.56	\$ 11.13	\$ 12.24	\$ 13.46	\$ 14.81	\$ 15.70
Volume Charge						
- -- 10,000	2.96	3.85	4.23	4.66	5.12	5.43
10,001 -- 15,000	3.69	4.80	5.28	5.80	6.38	6.77
15,001 -- 20,000	4.44	5.77	6.35	6.98	7.68	8.14
20,001 -- 30,000	5.18	6.73	7.41	8.15	8.96	9.50
30,001 -- Above	5.92	7.70	8.47	9.31	10.24	10.86
WASTEWATER Rate						
Residential -- Minimum	8.03	9.64	9.83	10.03	10.23	10.43
Volume/1,000 Gal (Based on Winter Avg)	4.47	5.36	5.47	5.58	5.69	5.81

Alternative 4 Impact on Residential Monthly Charge 10,000 Gal Water, 5,000 Gal WW



	Current	Oct-14	Oct-15	Oct-16	Oct-17	Oct-18
Alt 1 -- 100% CIP	\$ 68.54	\$ 84.16 15.62	\$ 101.94 17.79	\$ 116.20 14.26	\$ 125.97 9.77	\$ 133.53 7.56
Alt 2 -- 50% CIP	68.54 -	84.16 15.62	94.96 10.80	104.79 9.83	112.77 7.98	118.66 5.90
Alt 3 -- 25% CIP	68.54	84.16 15.62	92.50 8.35	100.31 7.81	107.73 7.41	113.10 5.37
Alt 4 -- \$150,000 Annual CIP	68.54	86.06 17.52	91.75 5.69	97.95 6.20	104.72 6.76	109.45 4.74
Alt 5 -- Special Projects CIP						

Alt 5 -- Key Projects Plus \$150,000/YR Cap Outlays Notes on Rate Proposal



- ◆ Funding only for growth & expansion projects, limited repair & replacement
 - ❖ FY 2016 Sewer Project -- \$10,000,000
 - ❖ FY 2015 Property purchase for overhead storage -- \$652,000
 - ❖ FY 2018 New Water Tower -- \$3,400,000
 - ❖ \$150,000 annually for Repair and Replacement (added to Capital Outlays)
- ◆ Total Expenditures for Repair and Replacement = \$1,500,000; sufficient only to complete about **6%** of needed R&R
- ◆ **Unfunded Capital Needs in Forecast Period = \$23,500,000**

Alt 5 -- Key Projects Plus \$150,000/YR Cap Outlays Forecast Cost of Service



Alt 5 -- Key Projects & \$150,000/Yr

	2014	2015	2016	2017	2018
WATER Utility Revenue Requirement					
Operating Expenses	\$ 4,076,322	\$ 4,403,511	\$ 4,788,447	\$ 5,169,538	\$ 5,565,446
Capital Outlays (Vehicles,Meters,Pumps)	110,000	140,000	136,000	110,000	410,000
Debt Service	136,560	137,738	138,694	139,415	372,524
Total Cost of Service	4,322,882	4,681,249	5,063,141	5,418,953	6,347,970
WASTEWATER Utility Revenue Requirement					
Operating Expenses	3,127,532	3,269,200	3,417,392	3,545,688	3,670,898
Capital Outlays/ Rep. & Repl.	80,000	180,000	80,000	80,000	190,000
Debt Service	-	-	775,554	777,959	780,442
Total Cost of Service	3,207,532	3,449,200	4,272,946	4,403,646	4,641,340

Alternative 5 – Key Projects Uniform Water/WW Adjustments



		Effective Date of Rate Adjustment												
		Current	Oct-14	Oct-15	Oct-16	Oct-17	Oct-18							
Alt 5 - Key Projects & \$150,000/Yr														
WATER Rates														
Minimum Charge -- Residential	\$	8.56	\$	11.47	\$	13.19	\$	14.51	\$	15.96	\$	16.92		
Volume Charge														
-	--	10,000		2.96		3.97		4.56		5.02		5.52		5.85
10,001	--	15,000		3.69		4.94		5.69		6.25		6.88		7.29
15,001	--	20,000		4.44		5.95		6.84		7.53		8.28		8.78
20,001	--	30,000		5.18		6.94		7.98		8.78		9.66		10.24
30,001	--	Above		5.92		7.93		9.12		10.03		11.04		11.70
WASTEWATER Rate														
Residential -- Minimum			8.03		9.23		10.53		10.84		11.17		11.50	
Volume/1,000 Gal			4.47		5.14		5.86		6.04		6.22		6.40	
(Based on Winter Avg)														

Alternative 5 Impact on Residential Monthly Charge 10,000 Gal Water, 5,000 Gal WW



	Current	Oct-14	Oct-15	Oct-16	Oct-17	Oct-18
Alt 1 -- 100% CIP	\$ 68.54	\$ 84.16 15.62	\$ 101.94 17.79	\$ 116.20 14.26	\$ 125.97 9.77	\$ 133.53 7.56
Alt 2 -- 50% CIP	68.54 -	84.16 15.62	94.96 10.80	104.79 9.83	112.77 7.98	118.66 5.90
Alt 3 -- 25% CIP	68.54	84.16 15.62	92.50 8.35	100.31 7.81	107.73 7.41	113.10 5.37
Alt 4 -- \$150,000 Annual CIP	68.54	86.06 17.52	91.75 5.69	97.95 6.20	104.72 6.76	109.45 4.74
Alt 5 -- Special Projects CIP	68.54	86.07 17.53	98.63 12.56	105.71 7.08	113.41 7.70	118.94 5.54

Water Rate Structure Findings and General Recommendations



- ◆ Current Residential Water Base Charge is uniform for all meter sizes; non-residential has varying charges for meters up to 2"
- ◆ Internal audit found existing accounts with meters greater than 2"
- ◆ Nominally higher base charges are proposed for these larger meters
- ◆ New "**Large Commercial**" rate class for commercial accounts consuming in excess of 50,000 gallons is proposed – Water and Sewer Base Charges in compliance with AWWA meter capacity ratios & uniform water volume rate equivalent to first tier volume rate instead of the five tiered volume rate

Presentation Summary Notes on Rate Scenarios

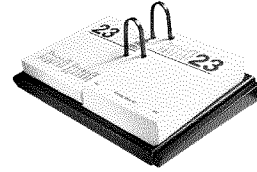


- ◆ Rate adjustments will be required under any scenario, given operating cost increases and NTMWD/GWU increases
- ◆ Timing and amounts of CIP (including Repair and Replacement) related debt will be key assumption behind rate plan alternatives
- ◆ Each of the alternatives shares common Fund Balance target of 75 Days of Operating Expenses, goal of 90 to 120 Days and target debt capacity ratio of 1.25 or greater
- ◆ Changes to expected growth in new accounts, relief from ongoing drought or Stage 4 watering restrictions should trigger revisions to rate plans

Summary Next Steps



- ◆ Obtain feedback from Council based on proposals presented
- ◆ Review assumptions and revise alternatives as needed
- ◆ Complete draft rate study report and submit for review
- ◆ Prepare consolidated presentation for Council Meeting and Public Hearing





Legislation Details (With Text)

File #:	14-2279	Version:	1	Name:	Discuss three year budget forecast
Type:	Agenda Item	Status:		Status:	Agenda Ready
File created:	6/11/2014	In control:		In control:	City Council
On agenda:	6/16/2014	Final action:		Final action:	
Title:	Discuss the City of Sachse budget forecast for the next three years.				
	Executive Summary				
	The City Manager and Finance Director will present a multi-year financial forecast. The Council will have the opportunity to provide input prior to the July 12th City Council Budget Workshop.				
Sponsors:					
Indexes:					
Code sections:					
Attachments:	Multi Year Budget Forecast 6-16-2014.pdf				

Date	Ver.	Action By	Action	Result
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Title

Discuss the City of Sachse budget forecast for the next three years.

Executive Summary

The City Manager and Finance Director will present a multi-year financial forecast. The Council will have the opportunity to provide input prior to the July 12th City Council Budget Workshop.

Background

As we progress through the early budget process, staff is providing the City Council with an opportunity to look at the three year financial forecast and to provide early comments on the budget.

Policy Considerations

None.

Budgetary Considerations

To provide funding for continued operations of the City.

Staff Recommendations

Staff recommends that Council discuss the three year budget forecast as presented and provide input as Council desires.



Legislation Details (With Text)

File #: 14-2246 **Version:** 1 **Name:** TAPS City Workshop
Type: Agenda Item **Status:** Agenda Ready
File created: 5/23/2014 **In control:** City Council
On agenda: 6/16/2014 **Final action:**
Title: Discuss and Consider the TAPS (Texoma Area Paratransit System) program which provides public transportation for Sachse residents.

Executive Summary

City of Sachse residents that are eligible to use the TAPS (Texoma Area Paratransit System) program for rides to and from communities in their service area. Fees are reduced to make TAPS trips more affordable with costs being subsidized by the North Central Texas Council of Governments (NCTCOG) for the fiscal year 2014 period. TAPS took over the transportation program from CCART (Collin County Area Regional Transportation) public transportation system which only served Collin County residents prior to the current fiscal year.

The program is funded by federal funds that NCTCOG issues to the program. NCTCOG has access to sufficient funds to fund the program through September 30, 2014. After September 2014, federal funds will continue to partially fund TAPS, and the remainder of the funds will come from cities that use the TAPS service in Collin County. If Sachse continues with TAPS, there will be an annual cost of \$2,500 starting in fiscal year 2015. TAPS representatives presented at the June 2, 2014 City Council meeting. There were several questions and concerns that City Council wanted to be addressed before committing to the program. We feel we have sufficient information from TAPS to move forward on a decision tonight.

Sponsors:

Indexes:

Code sections:

Attachments: [TAPS-CityPresentation6-16-14.pdf](#)

Date	Ver.	Action By	Action	Result
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Title

Discuss and Consider the TAPS (Texoma Area Paratransit System) program which provides public transportation for Sachse residents.

Executive Summary

City of Sachse residents that are eligible to use the TAPS (Texoma Area Paratransit System) program for rides to and from communities in their service area. Fees are reduced to make TAPS trips more affordable with costs being subsidized by the North Central Texas Council of Governments (NCTCOG) for the fiscal year 2014 period. TAPS took over the transportation program from CCART (Collin County Area Regional Transportation) public transportation system which only served Collin County residents prior to the current fiscal year.

The program is funded by federal funds that NCTCOG issues to the program. NCTCOG has

access to sufficient funds to fund the program through September 30, 2014. After September 2014, federal funds will continue to partially fund TAPS, and the remainder of the funds will come from cities that use the TAPS service in Collin County. If Sachse continues with TAPS, there will be an annual cost of \$2,500 starting in fiscal year 2015. TAPS representatives presented at the June 2, 2014 City Council meeting. There were several questions and concerns that City Council wanted to be addressed before committing to the program. We feel we have sufficient information from TAPS to move forward on a decision tonight.

Background

On July 1, 2013 TAPS (Texoma Area Paratransit System) took over the CCART (Collin County Area Regional Transportation) public transportation system. The program offers transportation to Collin County residents and to communities in the TAPS service area. The program is funded through federal funds that NCTCOG (North Central Texas Council of Governments) issues to the program. The funding for the program is secure through September 30, 2014. TAPS and NCTCOG have been meeting with cities throughout Collin County to discuss contributing funds after September 2014 to maintain the transportation services for each community. It is understood that funding by cities will be based upon the usage rate of that city. The City of Sachse's portion is \$2,500 for fiscal year 2015.

Policy Considerations

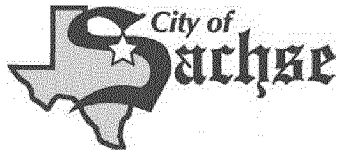
Decide on the TAPS transportation by continuing the program as it is now, limit access, or discontinue TAPS. Any of these selections would be a new policy for the City of Sachse.

Budgetary Considerations

If City Council decides to continue the TAPS program \$2,500 would need to be in the budget for this upcoming fiscal year.

Staff Recommendations

Consider the TAPS (Texoma Area Paratransit System) program which provides public transportation for Sachse residents.



City of Sachse Texoma Area Paratransit System (TAPS)

June 16, 2014

Background

- ▶ Collin County Area Regional Transit (CCART) stopped providing public transportation in Collin County on June 30, 2013.
- ▶ Texoma Area Paratransit System (TAPS) began operating public transportation service in Collin County on July 1, 2013.
- ▶ In order to minimize service disruptions, the Regional Transportation Council is funding service until September 30, 2014.
- ▶ TAPS presented at the June 2, 2014 City Council Meeting.



Questions from the June 2, 2014 meeting

- Q: Right now, are federal funds funding TAPS?
- A: TAPS draws on several funding streams, the largest of which is through the Federal Transit Administration.
- Q: If we decide not to participate, can we opt in later?
- A: To participate in Fiscal 2014–2015, an answer is needed now. Should Sachse decide to opt out, it would have to wait until Fiscal 2015–2016 to opt back in, and then go through the application process again.
- Q: Could you put together some numbers for just elderly and disabled?
- A: Because the Sachse senior center currently provides transportation for its elderly and disabled clients, it is not feasible for TAPS to derive a cost basis for performing service for these two demographics alone.



Current Services

- TAPS Public Transit provides on-demand curb-to-curb public transportation for the city of Sachse on behalf of Collin County. **TAPS buses run Monday–Friday with the earliest available pickup time at 6:00am and the latest available pickup time at 5:30pm. TAPS does not provide service in Collin County on Saturday or Sunday.**
- As a resident living in Sachse, TX; you may schedule a ride to keep a medical appointment, go shopping, attend an event, for any reason. You must schedule a ride at least 24 hours in advance.

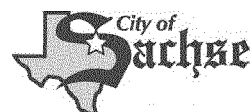


Fare Prices

DIAL-A-RIDE ON DEMAND SERVICE

IN-TOWN TRIPS

	ONE-WAY	ROUND TRIP	MONTHLY PASS
General Public	\$2	\$4	\$80
Students 12+, Children Under 12)with parental permission)	\$1	\$2	\$52
Disabled or Senior 60+	\$1	\$2	\$52



Fare Prices

DIAL-A-RIDE ON DEMAND SERVICE

OUT-OF-TOWN TRIPS

	ONE-WAY	ROUND TRIP	MONTHLY PASS
General Public	\$3	\$6	\$80
Students 12+, Children Under 12)with parental permission)	\$1.50	\$3	\$52
Disabled or Senior 60+	\$1.50	\$3	\$52



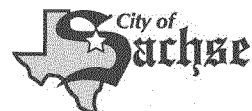
Fare Prices

DIAL-A-RIDE ON DEMAND SERVICE	ONE-WAY	ROUND TRIP	MONTHLY PASS
OUT-OF-COUNTY TRIPS			
General Public	\$4	\$8	\$80
Students 12+, Children Under 12 (with parental permission)	\$2	\$4	\$52
Disabled or Senior 60+	\$2	\$4	\$52



Where are we today?

- ▶ On April 3, 2014 City Staff met with TAPS and NCTCOG to discuss ridership in Sachse.
- ▶ TAPS has estimated our cost to keep transportation for Sachse residents in Collin County at \$2500 for 2014/15 and \$2900 for 2015/16.
- ▶ If we choose to do so we can terminate or modify the service.
- ▶ Sachse has fewer than 15 trips per month.
- ▶ Sachse has fewer than 10 registered riders.



Next Steps

- Determine if the City of Sachse wants to participate in the TAPS program in FY 2015.
- If yes, then what type of service do we want to provide?
- If yes, then funds will need to be allocated during the FY 2015 budget process.



Eligibility and Limiting Participation

Individual Characteristics

- **Disability** – can be self-reported, based on a doctor's note, or established through a formal assessment by transit agency, or Social Security disability insurance (SSDI) program recipients
- **Age** – older adults (can be defined many ways including 50+, 55+, and so on), children 16 and under or 18 and under (many of whom cannot drive)
- **Income** – poverty, 150% of poverty, Medicaid recipients, Supplemental Security Income (SSI) recipients, Temporary Assistance for Needy Families (TANF) recipients, Supplemental Nutrition Assistance Program (SNAP) recipients
- **Other** – no driver license, veteran status, households without vehicles



Eligibility and Limiting Participation

Service Characteristics

- ▶ **Time** – weekdays only, selected days of the week, morning, midday, afternoon, evening, late evening, overnight
- ▶ **Geography** – limit where people can be picked up or dropped off, limit by city or county, limit by other geography such as “three-quarters of a mile around a fixed route,” limit by trip distance
- ▶ **Purpose** – work, job training, education (primary, secondary, higher), medical, pharmacy, dialysis, access to food/groceries, personal appointments, shopping, social, day rehabilitation, mental health services, senior centers, senior nutrition programs



Questions??





Legislation Details (With Text)

File #: 14-2274 **Version:** 1 **Name:** Consider appointment of Council Liaisons to Boards, Commissions and organizations.
Type: Agenda Item **Status:** Agenda Ready
File created: 6/5/2014 **In control:** City Council
On agenda: 6/16/2014 **Final action:**
Title: Consider appointment of Council Liaisons to Boards, Commissions and organizations.

Executive Summary
Each year after the election, Council makes these member appointments.

Sponsors:

Indexes:

Code sections:

Attachments:

Date	Ver.	Action By	Action	Result
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Title

Consider appointment of Council Liaisons to Boards, Commissions and organizations.

Executive Summary

Each year after the election, Council makes these member appointments.

Background

After elections each May, the Council make appointments of members to boards, commissions and organizations as liaisons. The current appointments are:

Mayor Felix	NTTA, NCTCOG voting member
Councilman Ross	
Councilwoman King	Animal Shelter Board, Animal Shelter Advisory Committee
Councilman Adams	Planning & Zoning Commission, RTC Liaison
Mayor Pro Tem Bickerstaff	Library Board, GISD
Councilman Franks	Parks and Recreation Commission
Councilman Watkins	

Former Councilman Ronnau TIF, WISD

Since Council Member Ronnau has retired from the Council, we have some vacancies. There is also the EDC liaison open for appointment.

Policy Considerations

None.

Budgetary Considerations
None.

Staff Recommendations
Council appoint members as liaisons to boards, commissions and organizations, as appropriate.